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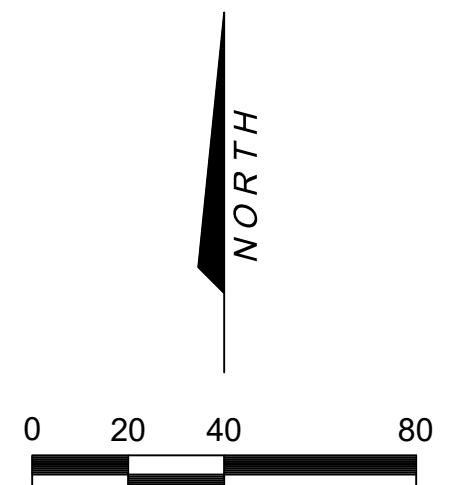
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ABBREVIATIONS

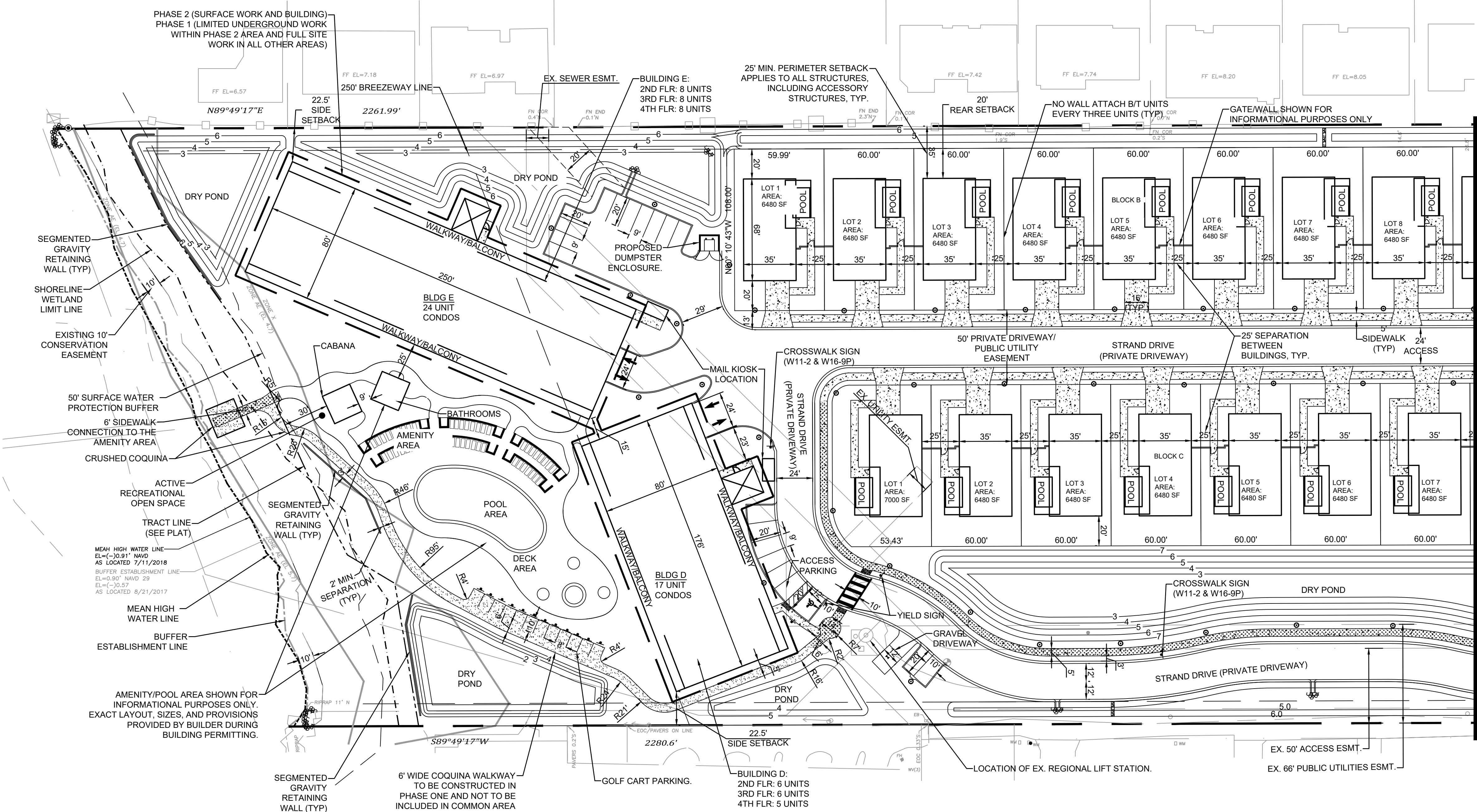
EX EXISTING
 TYP. TYPICAL
 PL PROPERTY LINE
 INV INVERT
 ESMT EASEMENT
 CL CENTERLINE
 EOP EDGE OF PAVEMENT
 PGD PAVING, GRADING & DRAINAGE
 ROW RIGHT OF WAY

LEGEND

--- LOT LINE
 - - - EASEMENT
 [Pattern] DETECTABLE WARNING SURFACE
 [Pattern] CONCRETE
 [Pattern] ACCESS, UTILITY, DRAINAGE & OPEN SPACE EASEMENT
 --- PHASING
 [Symbol] STAIRWELL/ELEVATOR SHAFT COMBO (DOOR LOCATIONS MAY NOT BE EXACT)
 [Symbol] PHOTOMETRIC LIGHT POLES
 [Symbol] COQUINA, CRUSHED
 [Symbol] WETLAND LINE (PER SJRWMD CONCURRENCE)

SIDEWALK CONSTRUCTION PLAN
 ONLY SIDEWALKS HATCHED [Symbol] ARE TO BE CONSTRUCTED AS COMMON AREA SIDEWALKS AS PART OF THESE PLANS.

MATCH LINE - SEE SHEET C-8



PHASE 2 (SURFACE WORK AND BUILDING)
 PHASE 1 (LIMITED UNDERGROUND WORK
 WITHIN PHASE 2 AREA AND FULL SITE
 WORK IN ALL OTHER AREAS)

SEGMENTED GRAVITY RETAINING WALL (TYP)
 SHORELINE WETLAND LIMIT LINE
 EXISTING 10' CONSERVATION EASEMENT

50' SURFACE WATER PROTECTION BUFFER
 6' SIDEWALK CONNECTION TO THE AMENITY AREA
 CRUSHED COQUINA
 ACTIVE RECREATIONAL OPEN SPACE
 TRACT LINE (SEE PLAT)

MEAN HIGH WATER LINE
 EL=+30.81' NAVD AS LOCATED 7/11/2018
 BUFFER ESTABLISHMENT LINE
 EL=+30.80' NAVD 29' AS LOCATED 8/21/2017
 MEAN HIGH WATER LINE
 BUFFER ESTABLISHMENT LINE

AMENITY/POOL AREA SHOWN FOR INFORMATIONAL PURPOSES ONLY. EXACT LAYOUT, SIZES, AND PROVISIONS PROVIDED BY BUILDER DURING BUILDING PERMITTING.

SEGMENTED GRAVITY RETAINING WALL (TYP)
 6' WIDE COQUINA WALKWAY TO BE CONSTRUCTED IN PHASE ONE AND NOT TO BE INCLUDED IN COMMON AREA SITE WORK BUT RATHER PART OF THE AMENITY AREA.

- AMENITY/POOL AREA NOTES:**
- OWNER & POOL DESIGNER SHALL DETERMINE EXACT POOL DECK AREA PROVISIONS. THIS WILL INCLUDE ALL FACETS: STEPS, RAILS, FENCING, GATES, RETAINING WALLS, ADA COMPLIANCE, LIMITS, REFUSE CONTAINERS, PLUMBING, ACCESSORIES, ELECTRICAL, DECK LOUNGE CHAIRS, YARD DRAINS, CABANA, BATHROOMS, WALKWAYS, LANDSCAPE, AND HARDSCAPE FINISHES.
 - THE AMENITY POOL AREA IMPROVEMENTS MAY BE CONSTRUCTED PARTIALLY, BUT IN SATISFACTORY EXTENT TO QUALIFY FOR CERTIFICATE OF COMPLIANCE, OCCUPANCY, AND/OR SUBDIVISION COMPLETION.
 - THE COQUINA PATHWAY THAT ABUTS THE AMENITY AREA PERIPHERY IS INTENDED TO FOLLOW THE FINAL POOL DESIGNER'S LAYOUT AND MAY NOT BE EXACTLY AS SHOWN.

REV PER BREVARD COUNTY COMM.

SEFREY LUCAS, P.E.
 FLORIDA REG. NO. 71621

PHOENIX PARK FUND V, LP

HARBOR ISLAND BEACH CLUB

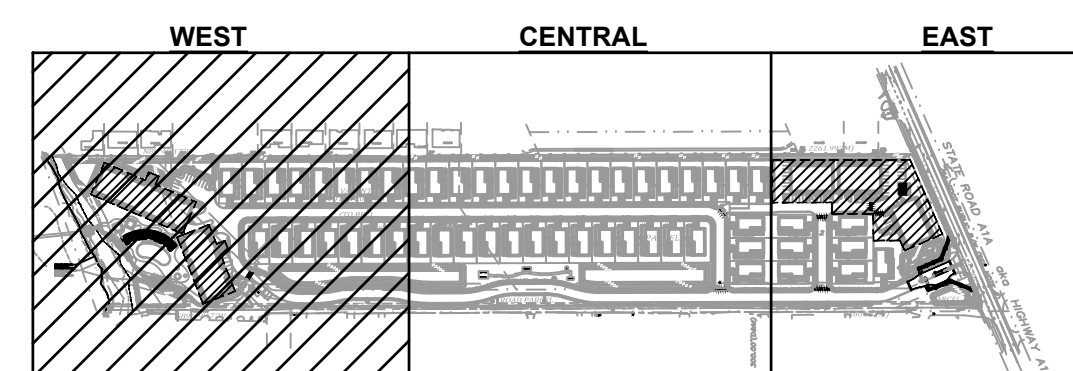
SITE PLAN

ATKINS

CORPORATE OFFICE: 8500 W. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33607
 TEL: 312.242.4642
 FAX: 312.242.6161
 www.atkinsglobal.com

JOB NO.: 100056195
 PROJECT ENG.: J.A.L.
 DRAWN: J.W.S.
 CHECKED: M.E.S.
 APPROVED: J.A.L.

SHEET NO. **C-7** REV.



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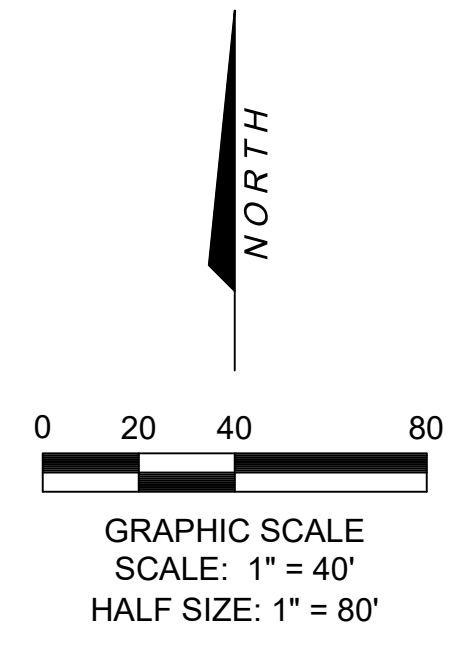
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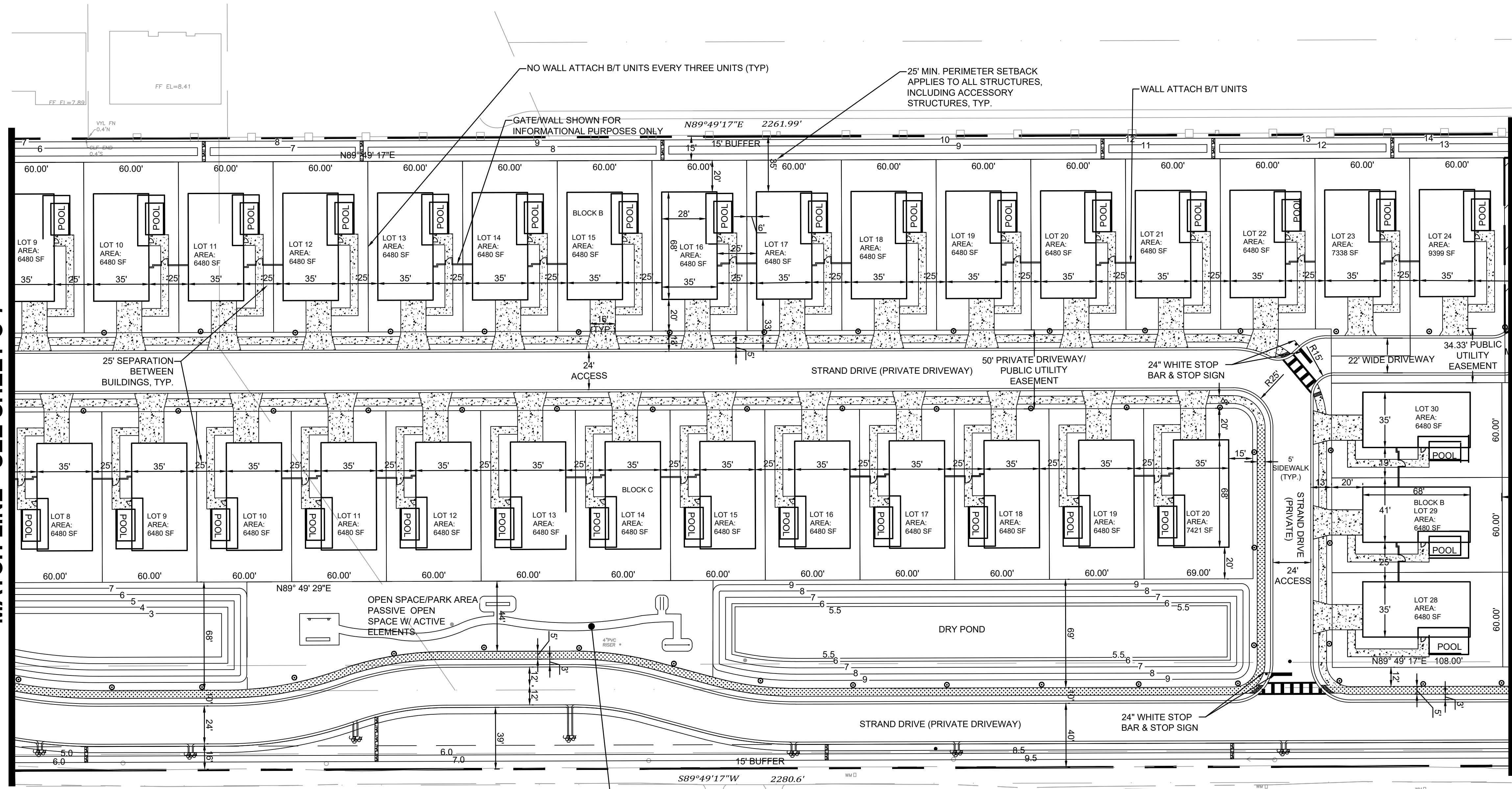
- ABBREVIATIONS**
- EX EXISTING
 - TYP. TYPICAL
 - PL PROPERTY LINE
 - INV INVERT
 - ESMT EASEMENT
 - CL CENTERLINE
 - EOP EDGE OF PAVEMENT
 - PGD PAVING, GRADING & DRAINAGE

- LEGEND**
- LOT LINE
 - - - EASEMENT
 - ▨ DETECTABLE WARNING SURFACE
 - ▧ CONCRETE
 - ▩ ACCESS, UTILITY, DRAINAGE & OPEN SPACE EASEMENT
 - PHASING
 - PHOTOMETRIC LIGHT POLES

SIDEWALK CONSTRUCTION PLAN:
 ONLY SIDEWALKS HATCHED ARE TO BE CONSTRUCTED AS COMMON AREA SIDEWALKS AS PART OF THESE PLANS.

MATCH LINE - SEE SHEET C-7

MATCH LINE - SEE SHEET C-9



REV PER BREVARD COUNTY COMM.

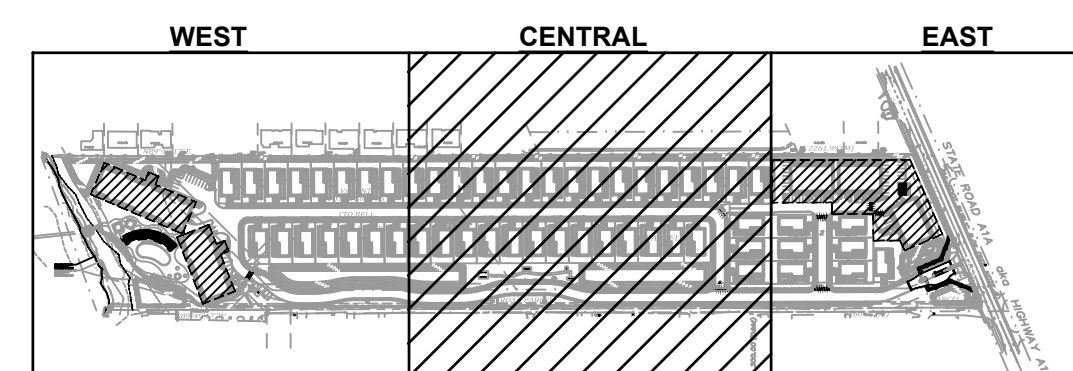
SEFREY LUCAS, P.E.
FLORIDA REG. NO. 71621

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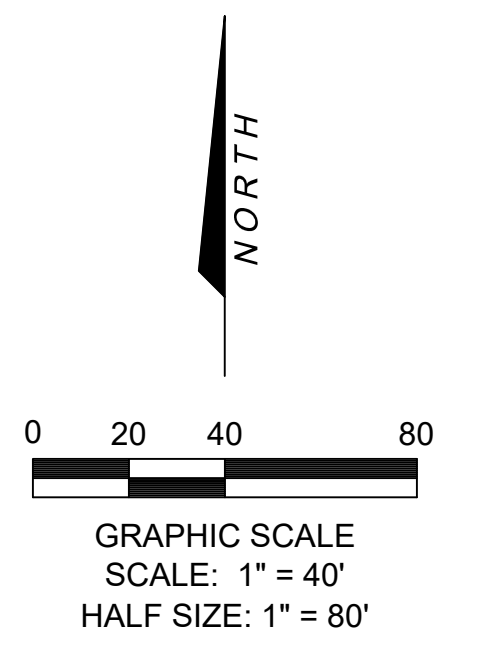
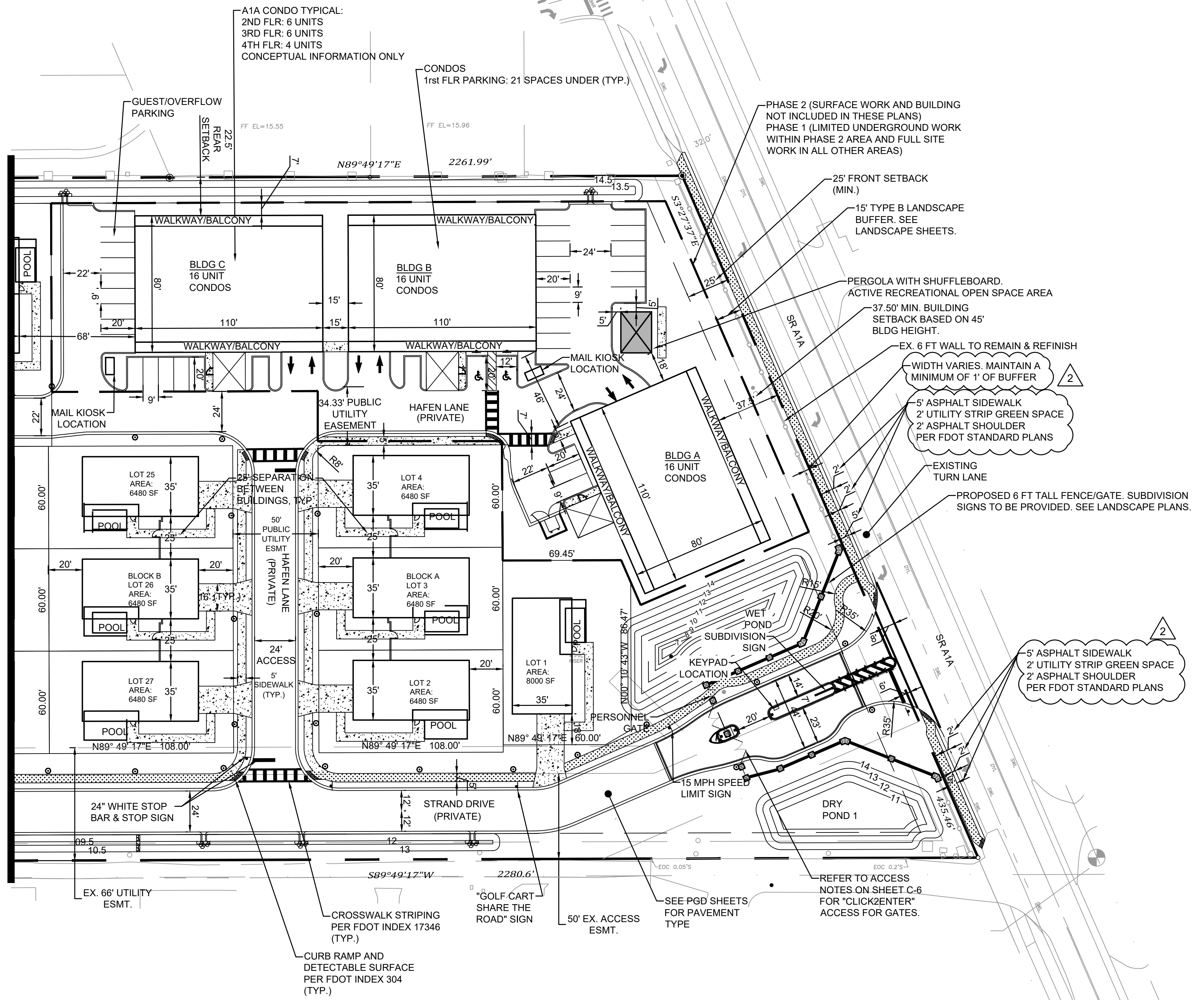
CLIENT: PHOENIX PARK FUND V, LP
PROJECT: HARBOR ISLAND BEACH CLUB
SHEET TITLE: SITE PLAN

ATKINS
 CORPORATE OFFICE: 8500 W. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33607
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 FIRM CERTIFICATE OF AUTHORIZATION NO. 24
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JOB NO.:	100056195
PROJECT ENG.:	J.A.L.
DRAWN:	J.W.S.
CHECKED:	M.E.S.
APPROVED:	J.A.L.
SHEET NO.:	C-8



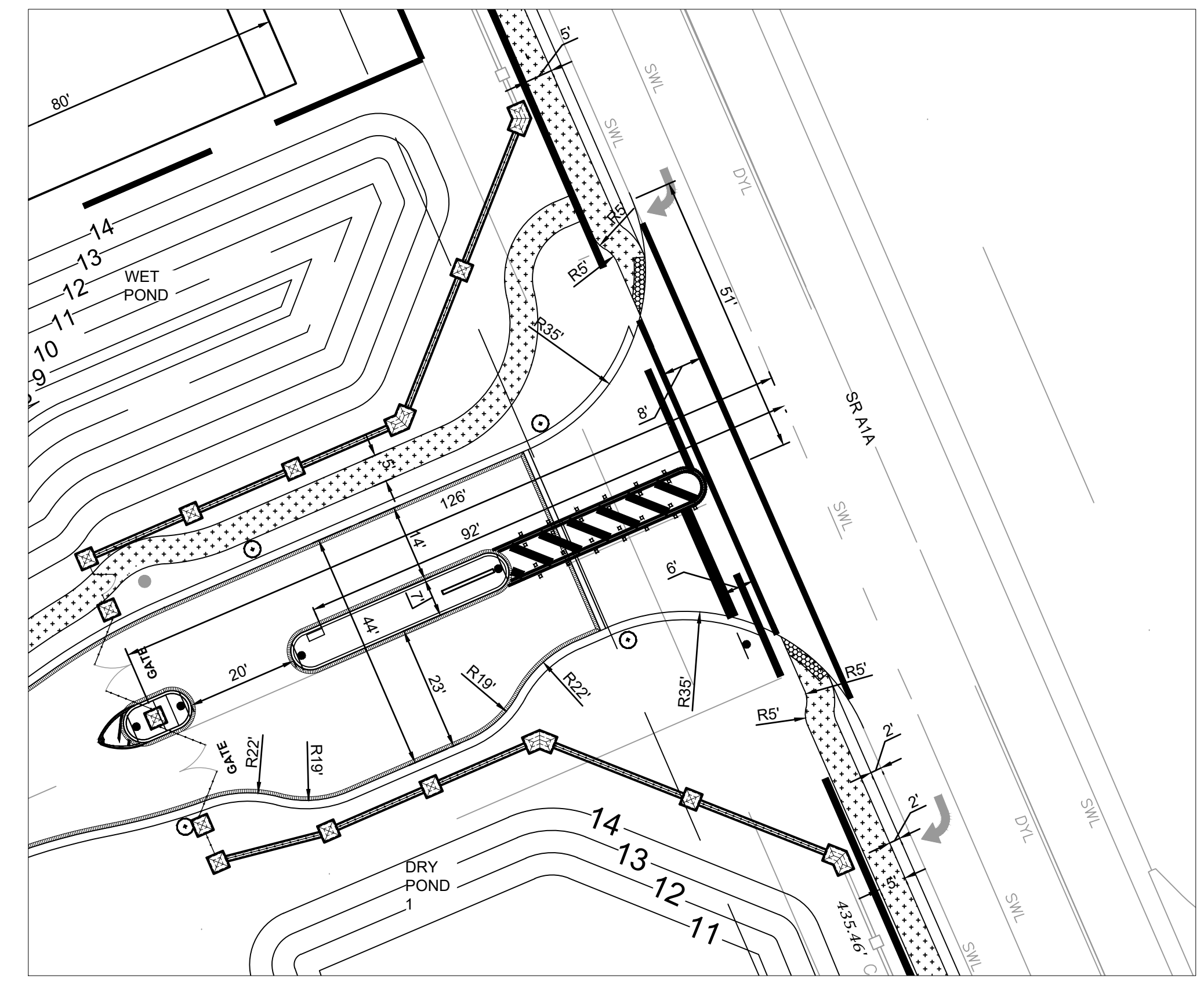
MATCH LINE - SEE SHEET C-8



- ABBREVIATIONS**
- EX EXISTING
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- LEGEND**
- LOT LINE
 - EASEMENT
 - DETECTABLE WARNING SURFACE
 - CONCRETE
 - ACCESS, UTILITY, DRAINAGE & OPEN SPACE EASEMENT
 - PHASING
 - STAIRWELL/ELEVATOR SHAFT COMBO
 - PHOTOMETRIC LIGHT POLES

SIDEWALK CONSTRUCTION PLAN:
ONLY SIDEWALKS HATCHED ARE TO BE CONSTRUCTED AS COMMON AREA SIDEWALKS AS PART OF THESE PLANS.



DRIVEWAY BLOWUP
SCALE: 1" = 20'

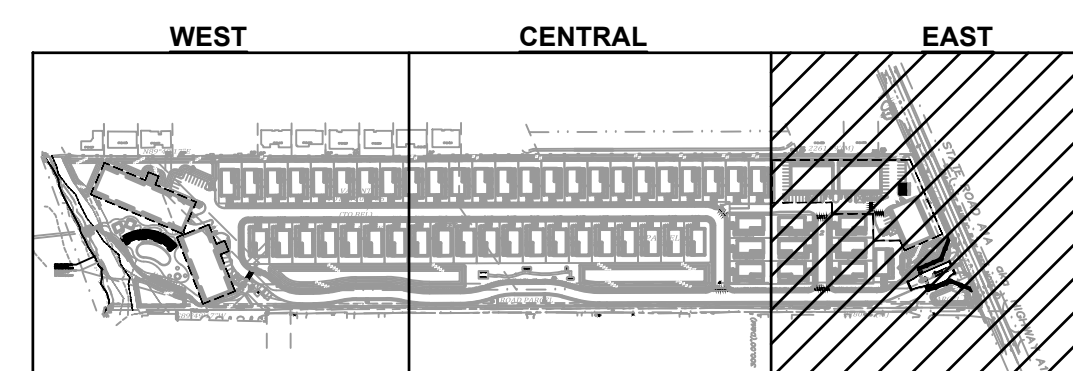
NOTE:
1. ACCESS TO PERGOLA/SHUFFLEBOARD TO BE PROVIDED AT A LATER DATE WHEN CONDO BUILDER DEVELOPS CONDOS UNDER BUILDING PERMITTING.

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PROJECT: HARBOR ISLAND BEACH CLUB
SHEET TITLE: SITE PLAN

ATKINS
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LOCAL OFFICE: 7175 MARSHALL ROAD MELBOURNE, FL 32940
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PROJECT ENG.: J.A.L.
DRAWN: J.W.S.
CHECKED: M.E.S.
APPROVED: J.A.L.
SHEET NO.: C-9



PLOT DATE: 04/20/2018 11:10am
FILE NAME: G:\PROJECTS\03\0305\05 - harmonia.spd redevelopment\03_05_CAD\100056195-011.dwg

REV.	DATE	ISSUED FOR