

Hampton Apartment Redevelopment

Due Diligence Report

Melbourne Beach, FL



10 August 2017

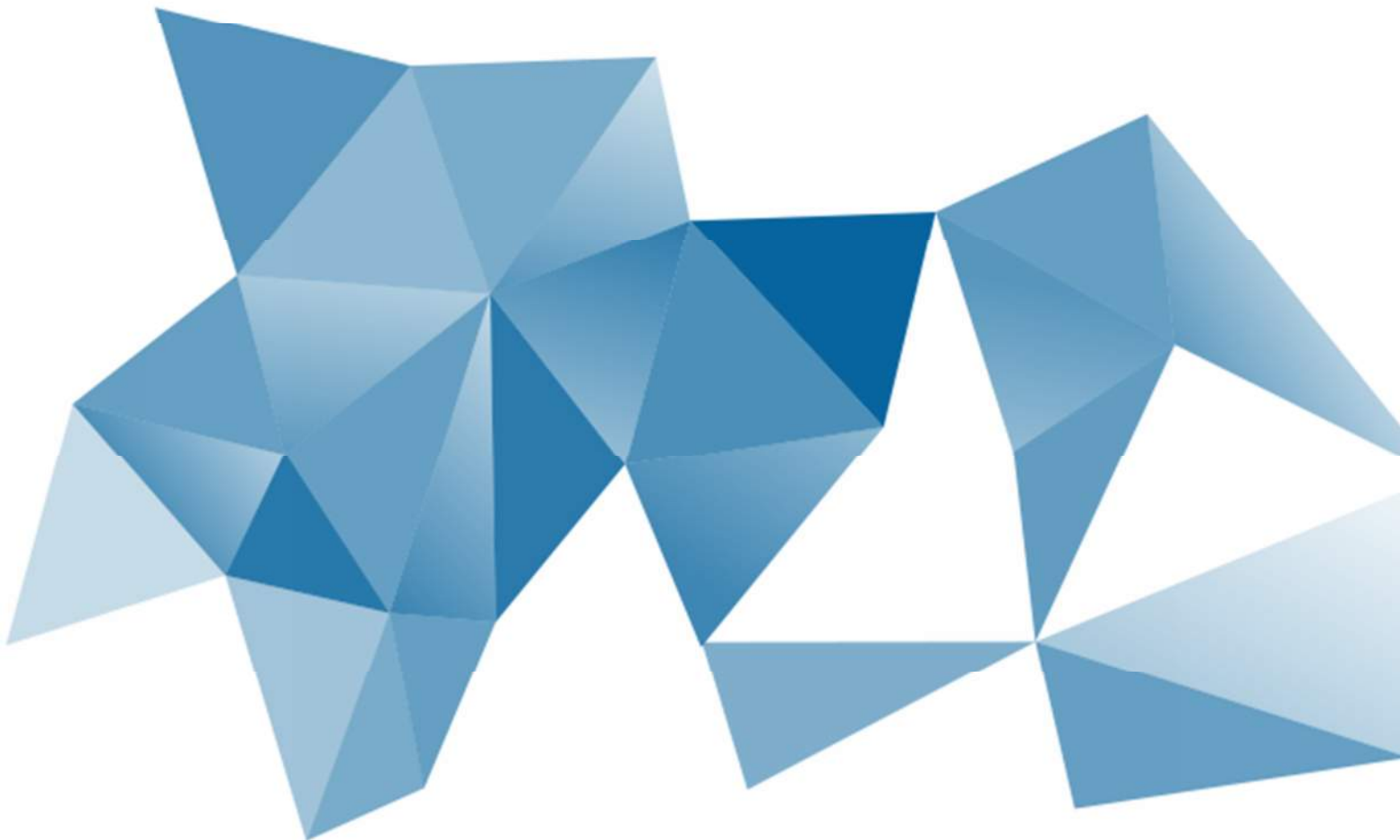


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A. EXECUTIVE SUMMARY

The proposed site is approximately 18.85 acres, within the jurisdiction of Brevard County, Florida. The site is located on the lot west of SR A1A and adjacent to Versailles Drive – approximately 4.25 miles south of the Melbourne Causeway (US-192).

The proposed site is currently undeveloped and zoned in the Low-density Multiple-family residential (RU-2-8) with the surrounding parcels of similar uses and zoning. The parcel fronts the Indian River to the west and SR A1A to the east, with an existing accessway – Versailles Dr. – to the south.

The site existing features include stormwater, roadway, and sanitary sewer throughout the previous Hampton Apartment development. The existing access will remain at the existing Versailles Drive.

The proposed development consists of the construction of multiple/single-family residential homes. Per Brevard County Land Development Code, single-family attached dwellings are permitted in the RU-2-8 zoning district. Information provided in the report based on the development standards of both single-family attached residential and low-density multiple family residential criterion.

i. Factors for risk consideration

- Per legal description provided, the site area is defined by three individual (3) parcels whereas the current Brevard County Property Appraisers property information card lists the site area with two (2) parcels.
- Report was prepared without benefit of survey or land title abstract search; therefore, it is not defined where Parcel III lies.
- Breezeway/Visual Corridor regulations:
 - i. Riverfront properties shall include all land from the mean low-water line to a distance of 250 feet or the closest dedicated public right-of-way, running to parallel to the water, whichever distance is less.
 - ii. No building, structures, berms or solid fences, or combination thereof, more than four (4) feet in height shall be permitted in the breezeway/visual corridor.
 - iii. The minimum 30% breezeway/visual corridor requirement shall apply to all riverfront properties except single-family residential.
 - iv. An additional 1% of breezeway above minimum requirements shall be provided for each additional one foot of building height over 35 feet, up to a building height of 55 feet, and an additional 1/2% of breezeway above minimum requirements shall be provided for each additional one foot of building height above 55 feet.

- Based on information provided by the owner, there are two variances still in effect for the existing parcels
 - i. V-975 was granted on the Parcel I, II and III in 1980 and allows for a wall variance of two (2) ft. over the required four (4) ft. for a front wall and one (1) ft. over the maximum thirty-five (35) ft. building height limit.
 - ii. V-1054 was granted solely on Parcel III in 1981 and allows for a deviation of nineteen (19) ft. over the maximum thirty-five (35) ft. building height limit.
- A conditional use for the use of the Residential Marina will be required during the redevelopment site plan review. Prior to closing the buyer will obtain an assurance from Brevard County that a conditional use permit is not required for the marina which is a grandfathered pre-existing use.
- 12 adult gopher tortoise burrows were identified within the parcel. Burrows will need to be relocated.
- A regional liftstation and existing sewer infrastructure remains on site.
- Per Mr. Clifford R. Repperger's (Attorney for the Respondent) letter dated July 1, 2008 and Cindy Fox's (Brevard County Planning & Zoning Manager) response dated August 12, 2016, the following is still valid:
 - i. The pre-existing use (PEU-009) is granted for Parcel I and II and may be developed at 10 units per acre up to a total density of 178 units. The PEU does not include Parcel III.
 - ii. Parcel III can be developed at a current density of 8 units per acre.

ii. Additional Research Materials:

The following documents were consulted for this due diligence:

- Brevard County Land Development Code
- Water Standards (City of Melbourne)
- Sewer Standards (Brevard County)
- St. John's River Water Management District
- 2012 Florida Accessibility Code
- Clifford R. Repperger Hamptons Building Code Case Resolution Letter (2008)
- Cindy Fox Zoning Verification Letter (2016)

iii. Signs:

Any sign to be erected will require a building or electrical permit from Brevard County. However, the following types of signs do not require a permit:

- *Identification Signs.* Signs identifying only the name and address of the owners, occupants or buildings. Such signs shall not exceed an area of two square feet for a single-family residential or four square feet for a multiple-family, nonresidential or mixed use structure.
- *Real Estate Signs.* Signs for sale, lease or rental of real estate shall be

exempt from permitting. Real estate signs also include open house and model home signs. Subject to the following requirements:

- *Max. Sign Surface Area:* 48 sq. ft.
- *Setback/size:* All temporary signs shall maintain a minimum 15-foot setback from all other property lines.

Setback Distance (ft.)	Sign Area (sq. ft.)	Sign Height (measured from ground) (ft.)	Notes
< 5	4	4	-
5-15	32	10	Sign shall be located 25 ft. or greater from any intersection (street or driveway)
15-25	40	20	Sign shall be located 25 ft. or greater from any intersection (street or driveway)
25	75	32	Sign shall be located 25 ft. or greater from any intersection (street or driveway)

iv. Potential Recognized Environmental Conditions (REC's):

- 12 adult gopher tortoise burrows were identified within the parcel. These burrows were described as potentially active.
- The majority of the burrows were located within disturbed habitats including the large spoil piles located onsite.
- All gopher tortoises must be relocated from potential development area. If burrows remain **25 feet or further** from the clearing or construction area, no permit is required.
- A Phase 1 ESA report dated August 2017 from BKI consultants was reviewed. No REC's were identified for this site.

(Atkins derived the above information provided by BKI Consultants Gopher Tortoise Report and Phase 1 Report. Atkins does not warranty the accuracy or completeness of the information.)

B. GENERAL SITE INFORMATION

1. Site Address: 160 Versailles Drive, Melbourne Beach, FL 32951.
2. Jurisdiction or Municipality: Brevard County
3. Site Parcel Number: 28-38-20-00-00006.0-0000.00
28-38-20-00-00005.0-0000.00
4. Site Acreage: 18.85 Ac.
5. Site Zoning: Low-density multiple-family residential, (RU-2-8). Density of 8 units/acre is inconsistent with zoning. Based on RU-2-8 zoning parcels I and II may have 10 units/acre (152 units) and for mixed density use Parcel III may have 8 units/acre (178 units).
6. Size of proposed building: TBD
7. Type of proposed building: Single/Multiple Family Residential Units
8. Are there any known easements? If yes, can you build/plant in the easement? Describe. Yes. Water & Sewer easements on the south side of the property. Also, a 10' easement from the adjacent properties to the south.
9. Are offsite easements required? Describe. TBD at a future date.
 - a. Are onsite easements required? Describe. Revised access easement potentially FPL easements and new water-sewer easements.
10. Are there any site development restrictions on the site such as development or special use restrictions, covenants, or others: TBD. From the Cliff Repperger's letter, exhibit B, there are notable permitted exceptions for the parcels indicated as I, II, II which should be re-examined by client's legal counsel for applicability and legal opinion.
11. Existing property boundary information from: (tax map or survey, etc.): See Attachment 2 – Brevard County Property Appraiser Tax Map
12. Easement/ROW Vacating: It is unknown at the time of the preparation of this report if Versailles Road is an actual ROW requiring official abandoning and vacating for site development or modification. The same would apply for utility easement. It is unclear if these matters can be handled at the time of Platting or other formal process.
Per discussion with Brevard County Surveying and Mapping Dept. (Marc Cazessus 321-633-2080), there is currently no deed associated with Versailles Dr. granting the ROW to the County.

C. EXISTING SITE PHYSICAL CONDITIONS

1. Existing use of property: There is currently a vacant property that had been cleared of prior apartment dwellings.
2. Is on-site demolition of existing structures required? None required
3. Existing vegetation present on developed site? (NONE, LIGHT, MODERATE, HEAVY) Describe. Light vegetation exist due to the previous development. Trees and shrubbery located sparsely throughout the lot.
4. Does the existing site have surface drainage features? Prior use stormwater ponds exist onsite.
5. Any potential wetland areas? No known wetland areas exist (See Attachment 3)
6. Any potential waters of the state? No known waters of the state (See Attachment 3)
7. Excessive grading anticipated? Describe. Not anticipated.
8. Should retaining walls be anticipated? Describe. Not Anticipated.
9. Is further environmental assessment warranted (wetlands determination, state waters determination, Phase I environmental, Geotechnical Report, Asbestos Survey)? Describe. Geotechnical Report, Phase I report; Phase II if required by Phase 1.
10. Are there any existing storm water systems on or near the site (creeks, streams, ponds, culverts, etc.)? Yes, stormwater ponds remains from previous development.
11. Is the site within the 100-year flood plain (FEMA)? No, except for a small fringe area adjacent to the Indian River water's edge. Site upland area is primarily in Zone X per FEMA panel FM12009C0616G Map Revised March 17, 2014. See Attachment 4 – FEMA Flood Map

D. ZONING INFORMATION & REQUIREMENTS

1. Current zoning classification on the existing property:
Low-density multiple-family residential, (RU-2-8). Other density implications apply. See item B.5.
2. What types of use (retail, office, restaurant, etc.) are currently allowed?
The RU-2-8 low-density multiple-family residential zoning classifications encompass lands devoted to low-density multifamily residential purposes, together with such accessory uses as may be necessary or are normally compatible with residential surroundings.
3. Any anticipated changes to the development code in the near future? None anticipated.
4. Is there any type of overlay district? No.
5. Is there any design principles for the overlay district? No
6. Maximum building height allowed: 45 feet. Where any structure or building exceeds 35 feet in height the conditions must be fully satisfied:
 - a) The distance between the building and the lot line of any adjacent parcel shall be no less than the sum of (a) the setback required by the zoning classification and (b) the product of the height of the building in excess of 35 feet (as measured from the average elevation of the finished development grade of the building site) multiplied by 1.25. This may also be expressed as the formula:
$$[(X-35) \times 1.25] + Z.$$

where X = total building height in feet
Z = setback required by the applicable zoning

For example: if applicable setback is 20 feet, and the building height is 55 feet, the minimum distance between the building and the lot line of the adjacent parcel would be:

$$[(55-35) \times 1.25] + 20 = 45 \text{ feet.}$$
 - b) In no event shall the ratio of the distance between the lot line of any residentially zoned parcel and the height of the structure be less than two to one. For example, a building 55 feet in height must be no less than 110 feet from the lot line of an adjacent residentially zoned parcel.

7. Zoning use and classification of all adjacent properties (see included vicinity map):

<u>Current Zoning & Use</u>		
a.	North:	RU-1-11 – Single Family Residential
b.	South:	RU-1-9 – Single Family Residential RU-1-13 – Single Family Residential
c.	East:	RU-2-8 – Low-density Multiple-Family Residential
d.	West:	Indian River Lagoon

8. Minimum usable common open space required: 35%. If common open space is established an HOA will need to be implemented.

"Usable common open space means a total amount of improved usable area including outdoor space permanently set aside and designated on a site development plan as recreational or open space for use by the landowners or residents of the development."

9. Is a variance required? Existing variance issued for the subject property.

- i. V-975 was granted on the Parcel I, II and III in 1980 and allows for a wall variance of two (2) ft. over the required four (4) ft. for a front wall and one (1) ft. over the maximum thirty-five (35) ft. building height limit.
- ii. V-1054 was granted solely on Parcel III in 1981 and allows for a deviation of nineteen (19) ft. over the maximum thirty-five (35) ft. building height limit.
- iii. Other variances as recognized during formal site plan review may be required as needed – TBD.

10. Consolidation of parcels required? Yes, platting required. A preliminary plat shall be submitted and considered for approval simultaneously with the required site plan. Platting is required to subdivide lots, establish ROW corridors etc. A final plat will also be needed.

I. Single Family Residential

Single-family attached residential means a multiple residential unit structure that is architecturally and characteristically compatible with single-family detached residential lifestyle. These residential characteristics include architectural styles which share a common wall. Each residential unit shall be contiguous to and have direct access to a designated yard, and have its own entrance separate from any other unit within the same structure.

11. Required setbacks and/or required buffer yards from right-of-ways or adjacent properties:

Interior lot setback (within a site)

	<u>Building Setback</u>
Front	20 feet
Rear	20 feet
Side	7.5 – 10 feet

**50 ft. surface water protection buffer along the western edge of Parcel III from the mean high water line of the Indian River.

12. Maximum Lot Coverage: 40%

13. Minimum Lot Size: 7,500 sq. ft.

14. Minimum Interior Lot Size: 1,800 sq. ft. (Interior lot size defined by a lot other than a corner lot with only one frontage on a street). Lots that utilize a property line which extends to the limits of the parent tract boundary are not internal lots. Lots buffered by other tracts and are internal to the development are internal lots.

15. Minimum Interior Lot Width: 15 feet.

Where multiple units are proposed, each unit within the overall lot will meet the 15 feet width, 1,800 sq. ft. for an internal lot.

16. Minimum Lot Width: 75 feet.

17. Minimum Lot depth: 100 feet.

18. Spacing between primary buildings or structures:

- a) Two stories or less: 15 ft.
b) Three stories: 25 ft.

II. Multi-Family Residential

19. Required setbacks and/or required buffer yards from right-of-ways or adjacent properties:

Principal Structures setback

	<u>Building Setback</u>
Front	25 feet
Rear	20 feet
Side	7.5 – 10 feet

**50 ft. surface water protection buffer along the western edge of Parcel III from the mean high water line of the Indian River.

20. Maximum Lot Coverage: 40%

21. Minimum Lot Size: 7,500 sq. ft.

22. Minimum Lot Width: 75 feet.

23. Minimum Lot depth: 75 feet.

24. Spacing between principal structures: 15 ft. from other principal buildings or structures on the same site.

25. Minimum Floor Area:

- Single-Family dwelling unit: 1,100 sq. ft.
- Duplexes: 1,150 sq. ft. and 575 sq. ft. per unit
- Apartments:
 - i. 1 bedroom: 500 sq. ft.
 - ii. 2 bedrooms: 750 sq. ft. plus 100 sq. ft. for additional bedroom
 - iii. Efficiencies: 400 sq. ft.

26. Contact name: George Ritchie – Brevard County Planner – (321)-633-2070 ext. 52657

E. PARKING INFORMATION & REQUIREMENTS

1. Parking requirements: Apartment Complexes: 1.75 spaces per unit. Condominiums and Townhome Complexes: 2 spaces per residential unit plus 1 space per 5 units for guest parking. Complexes with more than 15 units shall not be required to provide guest parking.
2. Standard 90° Parking Stall dimensions:
 - Minimum: 9 ft. x 20 ft.
4. Minimum Two-way Drive aisle dimension: A minimum aisle width of 24 ft. is required for 2-way traffic.
5. Minimum One-Way drive aisle dimension: A minimum aisle width of 14 ft. is required for 1-way traffic.
6. Handicap accessible parking requirements:
 - These parking spaces shall be conveniently located with respect to main and secondary entrances and ramps to sidewalks shall be provided and conveniently located in relationship to the disabled parking spaces.

F. ROADWAY INFORMATION & REQUIREMENTS

1. Classifications of all adjoining roadways:

<u>Street Name</u>	<u>Classification</u>	<u>Jurisdiction</u>	<u>Speed Limit</u>
SR-A1A	Urban Minor Arterial	FDOT	40
Versailles Drive/ Liftstation Access Drive	Urban Local		Statutory

2. Is signalized access available to the site? No signalized access available.
3. Is a traffic study required? Yes, a reduced size traffic impact analysis will be needed initially to mitigate request for intensive study.
4. Do curb cuts exist on the site? Yes, curb exist for existing driveway. A right turn lane also exists from A1A.
5. Must new driveway permits be obtained? Any modifications to existing access will require and FDOT driveway permit. This would include items such as guardhouses or amended driveway geometry.

6. Are off-site roadway improvements, such as acceleration or deceleration lanes, anticipated? Any improvements will be determined with further design analysis and direction from FDOT along with County Traffic Study review.
7. Contact name, jurisdiction, and telephone numbers:
 - Florida Department of Transportation (FDOT) – Jack West, Brevard Operations, (321) 634-6100.

G. SIDEWALK INFORMATION & REQUIREMENTS

1. Do sidewalks exist along the adjoining right-of-ways? No sidewalks present along SR-A1A right-of-way.
2. Are sidewalks required along right-of-way frontage? If so, what size? Yes, sidewalks shall be at least **five (5)** in width. All sidewalks and ramps shall conform to the latest requirements published in the most recent edition of the Americans with Disabilities Act (ADA) Accessibility Guidelines. A sidewalk/pedestrian accessway exists along the west side of A1A and therefore will satisfy the requirements on sidewalks required in development frontage. Separate interior sidewalks for pedestrian circulation to the single/multi-family homes will need to be provided.
3. Are interior sidewalks/pedestrian access required? If so, what size? On-site sidewalks shall be 5 feet in width, minimum, and provide access from the right-of-way to the building entrance.

H. STORMWATER INFORMATION & REQUIREMENTS

1. Is on-site storm water detention required? If yes, what type? Yes, stormwater quality for the project parcel will be provided. Stormwater attenuation is unknown at this time for the site.
2. Is surface drainage off-site allowed? Yes; provided the runoff is treated prior to discharge and the runoff rates do not exceed pre-development rates (pre vs post).
3. Stormwater System Design Requirements:
 - Design Storms: Attenuation for the 25-yr/24-hr storm; onsite retention must be provided for the first one inch of rainfall over the entire area.
 - Is a fence required around the pond? If it holds more than 2 feet of water longer than 24-72 hrs. Design will determine. Fence is required if pond side slopes exceed the following maximums:

or permanent wet basins must contain side slopes that are not steeper than 4H:1V out to a depth of two feet below the control elevation. As an alternative, the basins can be fenced or otherwise restricted from public access if the slopes must be steeper due to space or other constraints.

- In ponds or detention basins that are designed to be dry as the normal conditions, the maximum side slopes shall be three (3) horizontal to one vertical.
 - Is a planted buffer required around the pond? TBD
4. Stormwater system design requirements:
- Existing stormwater system tie-ins? Yes, existing drainage identified on site at this time. Additional drainage information to be provided during survey.
5. Contact name, jurisdiction, and telephone numbers: St. John's River Water Management District, 321-676-6631
6. County Recharge Area: At the preparation of this report it is unknown if this site is within the Aquifer Recharge Area I, II or III requiring additional stormwater measures to be undertaken to allow for additional percolation and groundwater recharge beyond normal limits.

I. UTILITIES INFORMATION

I. WATER SERVICE

1. Is water directly available to the site? Yes. The site is currently serviced by City of Melbourne. There is an existing 8" WM runs along Versailles Drive.
2. Is a fire hydrant within 500' of the site? Yes. There are four (4) existing fire hydrants located along Versailles Drive.
3. Is the water service public or private? Public
4. Is there an existing water meter servicing the site? Size? TBD
5. Impact fees? TBD
6. Contact name, jurisdiction, and telephone numbers: Keith Cunningham, City of Melbourne, Engineering Department, (321)-608-7306

II. SANITARY SEWER SERVICE

1. Is sewer service directly available to the site? If NO, describe the nearest available service: Yes. There is an 8" gravity main located along Versailles Dr. that is currently serviced by the Brevard County.
2. Is a lift station required? Yes, existing lift station available at the west end of Versailles Dr. Existing lift station capacity unknown at this time.
3. What size is the available sewer line? 8"
4. Who will perform and pay for the tap? The contractor will perform the work and pay for tap.
5. Impact fees? TBD
6. Does the site have enough sewer capacity? TBD.
7. Contact name, jurisdiction, and telephone numbers: Dee Ravenscroft, Brevard County, Utilities Service Department, (321)-633-2089
8. Is there reclaimed water? No reclaimed water located from the information provided by the County.

III. **POWER/ELECTRICAL**

1. Is there existing service to the site? Yes
2. Are electrical services readily available to the site? Overhead or Underground. Yes, overhead power source appears to be on west side of SR A1A.
3. Size, type, and location of service line? TBD.
4. Contact name, jurisdiction, and telephone numbers: Joel Bray, FPL, 954-581-3088

IV. **TELEPHONE**

1. Are telephone services available to the site? Yes
2. Contact name, jurisdiction, and telephone numbers: Frank Martin, AT&T Florida, (321) 690-2071

J. LANDSCAPING/SCREENING REQUIREMENTS

1. Is exterior landscaping required? Yes, landscape plan is required.
2. Are perimeter landscape buffers required? The purpose of the landscape buffering is to provide visual and physical screening and buffering between incompatible uses and to reduce the effects of glare, noise and incompatible activities, to include commercial, institutional, public and industrial uses when they abut existing residential uses.

3. Interior landscaping required? Yes.

<p><u>Minimum large/medium/small trees per acre of area of alteration.</u> For area of alteration greater than one acre, minimum trees shall be determined by multiplying the minimum trees per acre by the actual area of alteration to one decimal place (i.e. five trees/ac. X 1.5 acres area of alteration = eight trees) Where calculations yield fractions of trees, required trees shall be rounded up to the nearest full tree. No less than 50 percent of trees shall be large species. No less than 25 percent shall be of medium species.</p>	<p><u>5 trees per acre</u></p>
<p><u>Minimum number of shrubs and groundcovers, not including sod, per acre of area of alteration.</u> Minimum shrubs shall be determined by multiplying the minimum shrub/groundcover plants required per acre by the actual area of alteration to one decimal place (i.e. 125 shrubs/ac. X 0.5-acre area of alteration = 63 shrubs required) Where calculations yield fractions of trees, required trees shall be rounded up to the nearest full tree.</p>	<p><u>125 shrubs per acre</u></p>

4. Are existing trees within the property required to be saved?
 - A tree permit must be obtained for removal of any trees located on the property.
5. Is a land clearing permit required? Yes, land clearing permit is required and will expire 90 days from the date of issuance.

K. SUBMITTAL AND REVIEW INFORMATION

1. What is the site approval process?
 - Pre-Application conference required for the following: (180 days)
 - i. Projects consisting of three acres or more;
 - ii. Residential multifamily developments consisting of 20 units or greater in size
 - Formal Site Plan submittal and review
 - Applicant must submit plans to outside agencies (FDOT, FDEP, SJRWMD)
 - Staff Reviews for Completeness
 - Comments provided to applicant and DRM Meeting scheduled to review the comments in person with the applicant
 - Formal response to comments and resubmittal (3 week submittal review)
 - 3 reviews are typical for site plans and informal projects
 - Once all comments are addressed, plans are substantially approved
 - Pre-Construction Conference held
 - Plan Approved
2. What is required for building permit submittal? Building permit application, application requires review by Brevard County staff.
3. Does the site require platting? Platting is anticipated however will be further vetted during the pre-application meeting.
4. Is a Demo permit required? Yes, for removal of complete structures or parts or structures, including single family, 2 family, manufactured homes, and accessory structures.
5. Can Civil Documents and Building Plans be submitted at the same time? No.
6. Multi-Family Residential Dock Facility:
 - i. Brevard County Land Development Review: Unless reconciled (awaiting further information) permit will be needed to re-establish the dock facility and possibly require a Conditional Use Permit
 - ii. Brevard County Natural Resources: A marina consistency review may be required. Per the Manatee Protection Plan (MPP) review letter from Darcie McGee, dated March 2, 2016, the submitted MPP states that the facility shall be allowed to continue with the existing use, and may renovate according to permitting guidelines, provided there is no change in facility size. However, the applicant is responsible for obtaining all permit approvals per Brevard County regulations related to site development.
 - iii. FDEP Permit Due Diligence: A permit for re-establishing the dock facility on 9/23/16 and expires 9/22/21.
 - iv. Army Corp. Dock Permit Due Diligence: The permit is pending. No response has been provided from Army Corps. As of 8/7/17.

7. Fee estimates associated with final plans approval:

Entity	Division	Permit/Application	Cost/Fee
Brevard County	Land Development	Building Application Processing Fee	\$ 25.00
Brevard County	Land Development	Building Code Review	TBD
Brevard County	Land Development	Driveway/Sidewalk Fee	\$ 90.00
Brevard County	Land Development	Full Site Plan - Land Development	\$ 10,766.00
Brevard County	Land Development	Amended Site Review	\$ 10,094.50
Brevard County	Land Development	Pre-Application Conference Site Plan	\$ 2,135.00
Brevard County	Land Development	Engineering Revision to approved plan	\$ 500.00
Brevard County	Address Assignment	Full Site Plan - Address Assignment	\$ 100.00
Brevard County	Public Works - Engineering	Full Site Plan - Public Works Engineering	\$ 2,196.50
Brevard County	Public Works - Engineering	Inspection Major Site Plan Each Additional Phase	TBD
Brevard County	Public Works - Engineering	Site Plan Inspection Fee for the portion of Construction over \$1,000,001	TBD
Brevard County	Public Works - Traffic Engineering	Full Site Plan - Public Works Traffic Engineering	\$ 1,451.00
Brevard County	Public Works - Traffic Engineering	Pre-Application Conference	\$ 150.00
Brevard County	Survey Dept	Full Site Plan - Survey	\$ 350.00
Brevard County	Survey Dept	Pre-Application Conference Site Plan	\$ 100.00
Brevard County	NRMO	Marina Consistency Review	\$ 900.00
City of Melbourne	Water Utility	Water Impact Fee	TBD
City of Melbourne	Water Utility	Backflow Prevention Install	\$ 800.00
SJRWMD	Permit	General Use Permit	\$ 450.00
FDEP	Permit	FDEP NPDES NOI	\$ 250.00
TOTAL			\$ 30,358.00

****The site is exempt from all other County Impact Fees (Transportation, Fire/Rescue, EMS, Correctional Facility, Library and Solid Waste) up to the number of 178 prior-existing use. To the extent that the unit uses change from the prior-existing apartments/condominiums/townhouse uses, the applicant will be required to pay the difference between the current amount of impact fees for the various uses in accordance with Brevard County's impact fee schedule.**

8. Plan review checklists?

- Pre-Application Conference: The following are the minimum submittal requirements for pre-application conference
 - i. The applicant shall provide an application, authorization to act as applicant form, the appropriate number of plans, zoning verification form and applicable fees.

- ii. The site plan sketch with the relevant information such as vicinity map, complete legal description, sufficient topographic information, location of all proposed and existing improvements, traffic information, location and designation of what FEMA special flood hazard the project is located in.
- Formal Site Plan: The applicant shall an application together with the documentation require below, the appropriate number of plans and surveys and applicable fees, unless specified otherwise.
 - i. Authorization to act as applicant form
 - ii. Approved concurrency form
 - iii. Zoning verification form, together with copies of any CUPs. Binding site plan (BSP), binding development (BDP) etc.
- A copy of the recorded deed reflecting current ownership, purchase agreement or other document indicating ownership and legal description of the subject property.
- Stormwater calculations signed and sealed by a professional engineer licensed in the state.
- A traffic impact analysis identifying the projected trip generation and roadway configuration, including the impacts to the surrounding roadway infrastructure, and proposed improvements to support the intended use of the property.

Disclaimer: The information in this document was prepared by ATKINS. While reasonable steps are made to assure its accuracy, it cannot guarantee that changes, alterations or interpretations may occur.



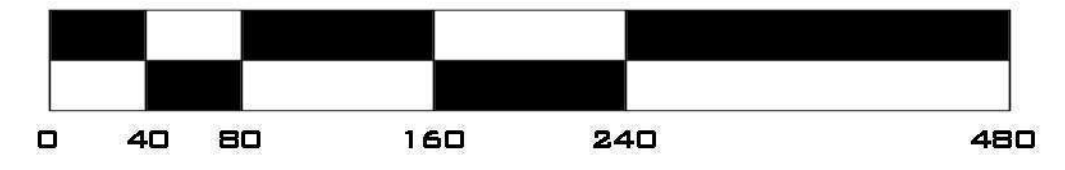
PHOENIX PARK

PHOENIX PARK LLC

ATTACHMENT - 1

CONCEPT PLAN

Prepared By:





PHOENIX PARK

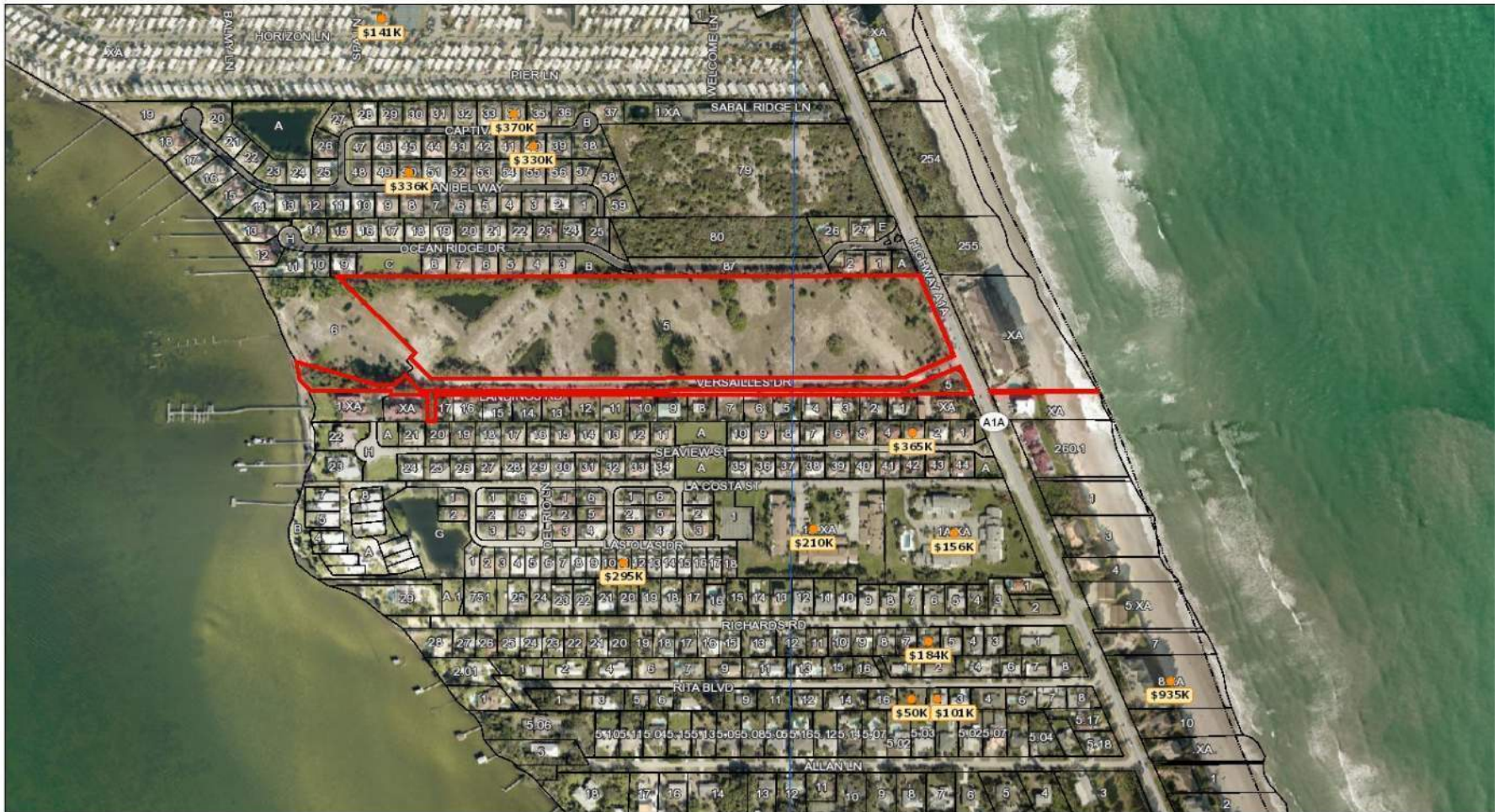
PHOENIX PARK LLC

ATTACHMENT - 2

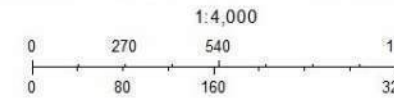
**BREVARD COUNTY PROPERTY
APPRAISER TAX MAP &
PROPERTY INFO CARD**

Prepared By:

Brevard County Property Appraiser



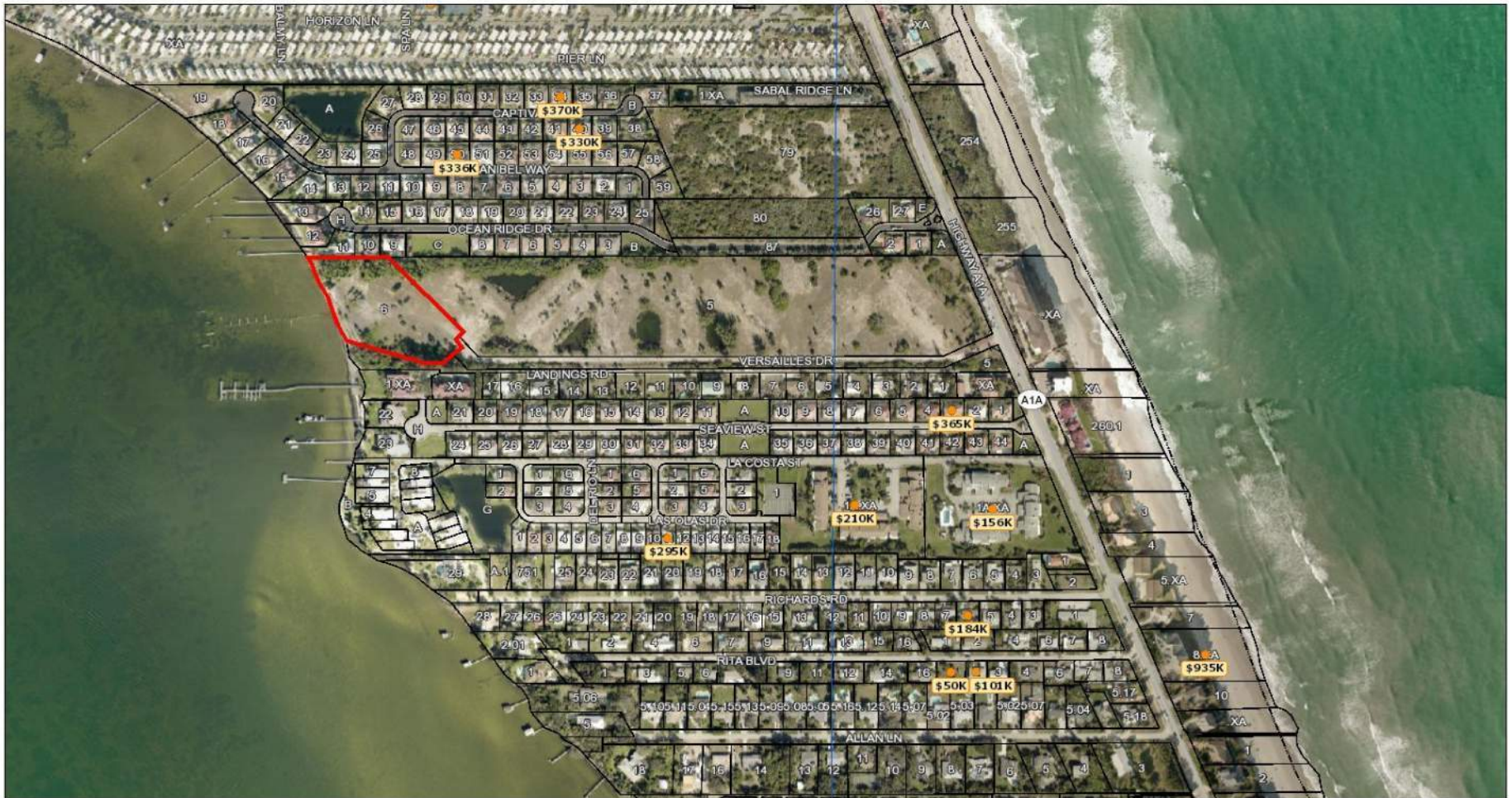
August 7, 2017



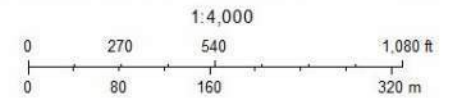
BCPAO Pictometry
2846850

For illustration only. Not a survey. Map layers may not precisely match. © BCPA

Brevard County Property Appraiser



August 7, 2017



BCPAO Pictometry
2846850

For illustration only. Not a survey. Map layers may not precisely align.
© BCPAO 2015

Dana Blickley, CFA
Property Appraiser
Brevard County, FL



Property
Details

General Parcel Information

Parcel ID:	28-38-20-00-00005.0-0000.00	Millage Code:	3400	Exemption:		Use Code:	9908
Site Address:	342 VERSAILLES DR , MELBOURNE BEACH 32951				Tax ID:	2849283	

Site Address is assigned by Brevard County Address Assignment for E-911 purposes and may not reflect the postal community name.

Owner Information

Owner Name:	HAMPTONS ASSOCIATES LTD, THE
Second Name:	
	C/O HARLEY PROPERTIES INVESTORS
Mailing Address:	P O BOX 941490
City, State, Zipcode:	ATLANTA, GA 31141

Abbreviated Description

Sub Name:	N 400 FT OF S 700 FT OF GOVT LOT 2 & THAT PART OF N 400 FT OF S 700 FT OF GOVT LOT 1 IN SEC 21 LYING W OF A1A EXC ORB 2417 PGS 2436, 2438, 2440 PARS 10,14 & 261 IN SEC 21
-----------	---

Value Summary

Roll Year:	2011	2012	2013
Market Value Total: ¹	\$640,800	\$640,800	\$712,000
Agricultural Market Value:	\$0	\$0	\$0
Assessed Value Non-School:	\$640,800	\$640,800	\$704,880
Assessed Value School:	\$640,800	\$640,800	\$712,000
Homestead Exemption: ²	\$0	\$0	\$0
Additional Homestead: ²	\$0	\$0	\$0
Other Exemptions: ²	\$0	\$0	\$0
Taxable Value Non-School: ³	\$640,800	\$640,800	\$704,880
Taxable Value School: ³	\$640,800	\$640,800	\$712,000

Land Information

Acres:	15.65
Site Code:	110
Land Value:	\$712,000

¹: Market value is established for ad valorem purposes in accordance with s.193.011(1) and (8), Florida Statutes. This value does not represent anticipated selling price for the property.

²: Exemptions are applicable for the year shown and may or may not be applicable if an owner change has occurred.

³: The Additional Homestead exemption does not apply when calculating taxable value for school districts pursuant to Amendment 1.

Sale Information

Official Records Book/Page	Sale Date	Sale Amount	Deed Type	Sale Screening Code	Sale Screening Source	Physical Change Code	Vacant/Improved
2885/2299	2/28/1988	\$6,975,000	PI				
2389/0874	9/1/1982	\$100	WD				

Sale screening and sale screening source codes are for assessment purposes only and have no bearing on potential marketability of the property.

Proposed Taxes 2013

Taxing Authorities	Ad Valorem Taxes Billed
County:	\$4,097.05

Rollback Taxes 2013

Taxing Authorities	Ad Valorem Taxes Billed
County:	\$3,986.94

School:	\$5,415.48	School	\$5,550.46
City and/or MSTU:	\$1,736.90	City and/or MSTU	\$1,712.44
Water Management:	\$231.41	Water Management	\$231.41
Special District:	\$103.55	SP District	\$100.16
Debt Payment:	\$412.71	Debt Payment	\$442.17
Total Ad Valorem:	\$11,997.10	Total Ad Valorem	\$12,023.58

Data Last Updated: Monday, November 18, 2013- Printed On: Monday, November 18, 2013.

Dana Blickley, CFA
Property Appraiser
Brevard County, FL



Property Details

General Parcel Information

Parcel ID:	28-38-20-00-00006.0-0000.00	Millage Code:	3400	Exemption:		Use Code:	1222
Site Address:						Tax ID:	2849284

Site Address is assigned by Brevard County Address Assignment for E-911 purposes and may not reflect the postal community name.

Owner Information

Owner Name:	HAMPTONS ASSOCIATES LTD, THE
Second Name:	
	C/O HARLEY PROPERTY INVESTORS
Mailing Address:	P O BOX 941490
City, State, Zipcode:	ATLANTA, GA 31141

Abbreviated Description

Sub Name:	PT OF N 400 FT OF S 700 FT OF LOT 2 AS DESC IN ORB 2544 PG 2487 PAR 78
-----------	--

Value Summary

Roll Year:	2011	2012	2013
Market Value Total: ¹	\$641,770	\$634,500	\$686,250
Agricultural Market Value:	\$0	\$0	\$0
Assessed Value Non-School:	\$641,770	\$634,500	\$686,250
Assessed Value School:	\$641,770	\$634,500	\$686,250
Homestead Exemption: ²	\$0	\$0	\$0
Additional Homestead: ²	\$0	\$0	\$0
Other Exemptions: ²	\$0	\$0	\$0
Taxable Value Non-School: ³	\$641,770	\$634,500	\$686,250
Taxable Value School: ³	\$641,770	\$634,500	\$686,250

Land Information

Acres:	3.2
Site Code:	110

¹: Market value is established for ad valorem purposes in accordance with s.193.011(1) and (8), Florida Statutes. This value does not represent anticipated selling price for the property.

²: Exemptions are applicable for the year shown and may or may not be applicable if an owner change has occurred.

³: The Additional Homestead exemption does not apply when calculating taxable value for school districts pursuant to Amendment 1.

Sale Information

Official Records Book/Page	Sale Date	Sale Amount	Deed Type	Sale Screening Code	Sale Screening Source	Physical Change Code	Vacant/Improved
2885/2299	2/28/1988	\$6,975,000	PI				
2544/2587	9/1/1984	\$100	NN				
2365/2151	5/1/1982	\$323,200	WD				

Sale screening and sale screening source codes are for assessment purposes only and have no bearing on potential marketability of the property.

Extra Feature Information

Extra Feature Description	Units
---------------------------	-------

DOCK

3,462

Proposed Taxes 2013

Taxing Authorities	Ad Valorem Taxes Billed
County:	\$3,988.76
School:	\$5,219.63
City and/or MSTU:	\$1,690.99
Water Management:	\$225.30
Special District:	\$100.81
Debt Payment:	\$401.80
Total Ad Valorem:	\$11,627.29

Rollback Taxes 2013

Taxing Authorities	Ad Valorem Taxes Billed
County	\$3,881.56
School	\$5,349.73
City and/or MSTU	\$1,667.18
Water Management	\$225.30
SP District	\$97.51
Debt Payment	\$430.48
Total Ad Valorem	\$11,651.76

Data Last Updated: Monday, November 18, 2013- Printed On: Monday, November 18, 2013.



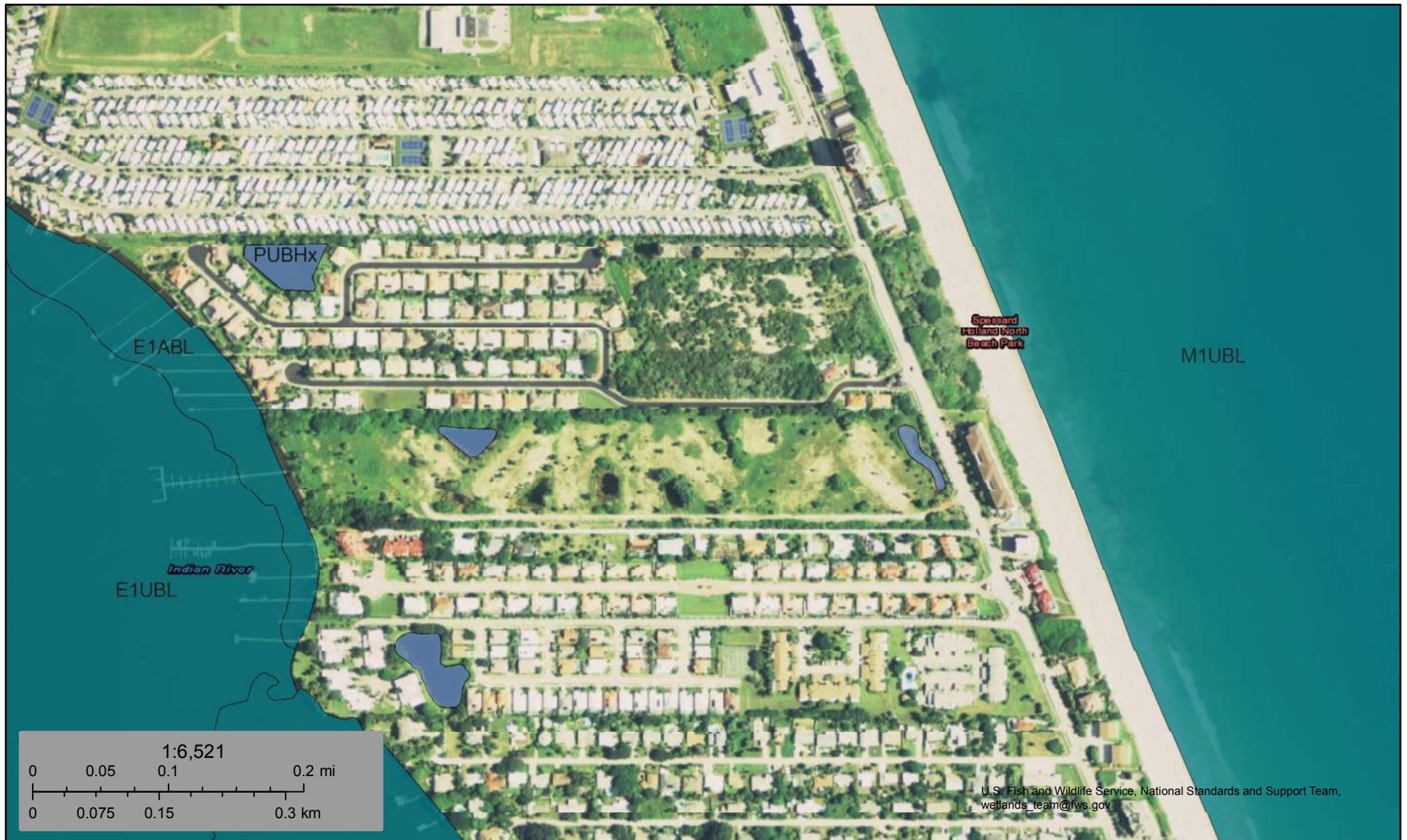
PHOENIX PARK

PHOENIX PARK LLC

ATTACHMENT - 3





U.S. FISH AND WILDLIFE MAP

Prepared By:



July 25, 2017

Wetlands

- | | | |
|--|---|--|
|  Estuarine and Marine Deepwater |  Freshwater Emergent Wetland |  Lake |
|  Estuarine and Marine Wetland |  Freshwater Forested/Shrub Wetland |  Other |
| |  Freshwater Pond |  Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



PHOENIX PARK

PHOENIX PARK LLC

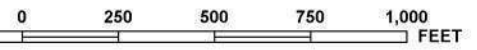
ATTACHMENT - 4

FEMA FLOOD MAP

Prepared By:



MAP SCALE 1" = 500'



NFIP

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0616G

FIRM
 FLOOD INSURANCE RATE MAP
 BREVARD COUNTY,
 FLORIDA
 AND INCORPORATED AREAS

PANEL 616 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
BREVARD COUNTY	125092	0616	G
MELBOURNE BEACH, TOWN OF	125128	0616	G

-NOTE-
 THIS MAP INCLUDES BOUNDARIES OF THE COASTAL BARRIER RESOURCES SYSTEM ESTABLISHED UNDER THE COASTAL BARRIER RESOURCES ACT OF 1982 AND/OR SUBSEQUENT ENABLING LEGISLATION.

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
 12009C0616G



MAP REVISED
 MARCH 17, 2014

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



PHOENIX PARK

PHOENIX PARK LLC

ATTACHMENT - 5

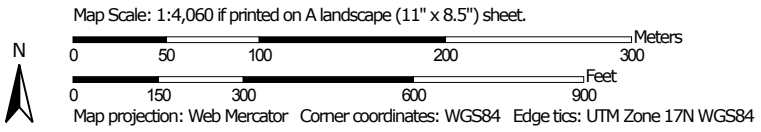
USGS SOIL MAP

Prepared By:

Soil Map—Brevard County, Florida
(Hampton Apt Redevelopment)



Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)

Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Brevard County, Florida
Survey Area Data: Version 15, Sep 20, 2016

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 12, 2011—Mar 13, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Brevard County, Florida (FL009)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
42	Palm Beach sand	4.4	22.3%
49	Pomello sand	2.1	10.5%
72	Welaka sand	13.1	66.5%
100	Waters of the Atlantic Ocean	0.1	0.6%
Totals for Area of Interest		19.7	100.0%



PHOENIX PARK

PHOENIX PARK LLC

ATTACHMENT - 6

FPL/WATER-SEWER AS-BUILTS (1981)

Prepared By:

Call before you dig! 1-800-432-4770

BT-0709

Confidential: For Florida Power & Light Company use only.

1:300

BW-0706

Lat/Long: 28.0312 N 80.5607 W

SPC: (797900,1344300)

County: Brevard

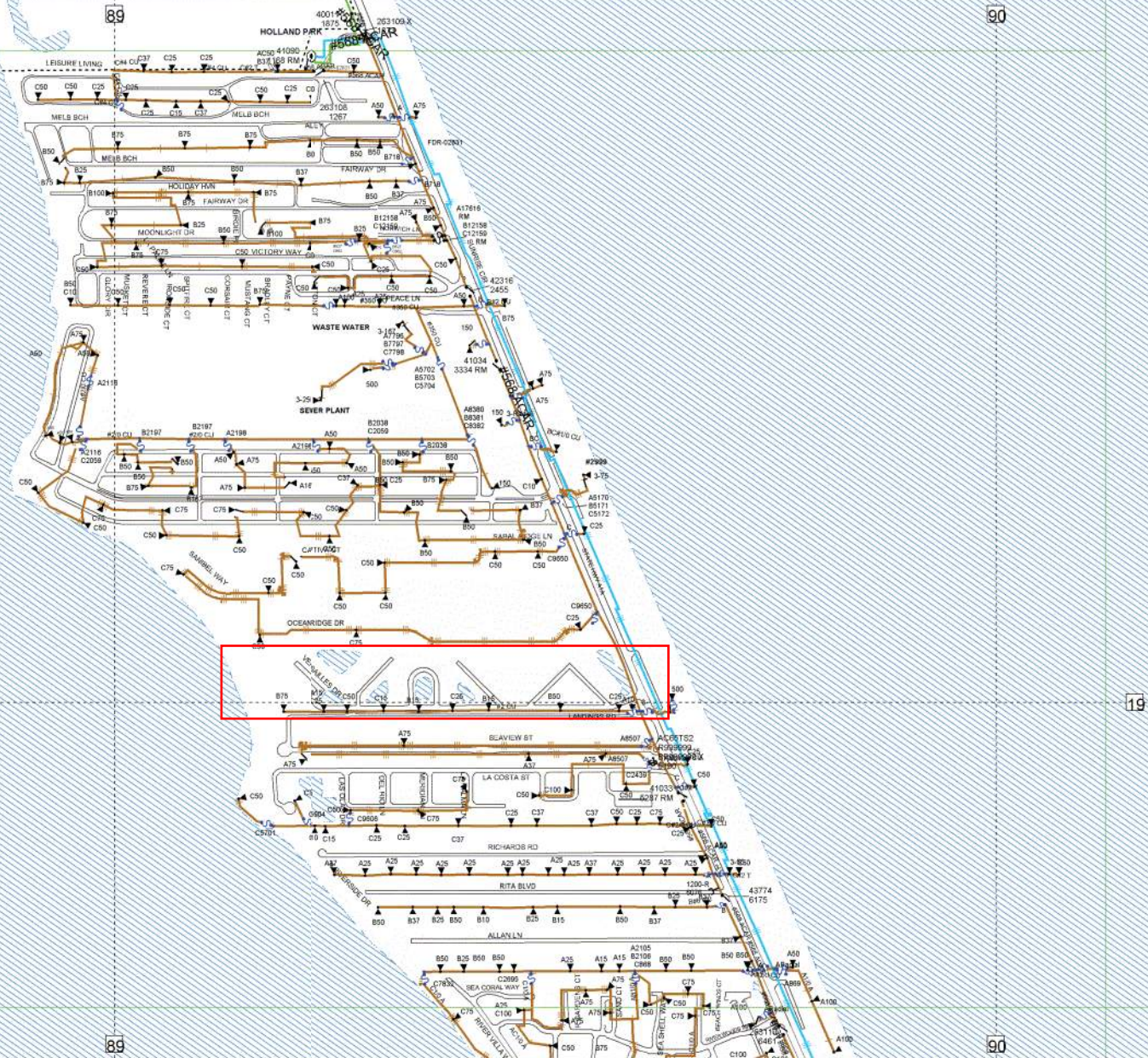
Mgmt Area: Brevard

Svc Ctr: Melbourne

BT-0703

Primary Map: BT-0706

PLEASE BE ADVISED THAT RECEIPT OF
 THIS DRAWING, WHICH IS AN
 APPROXIMATION,
 DOES NOT RELIEVE YOU OF ANY
 STATUTORY OBLIGATIONS,
 INCLUDING THE PROVISIONS CONTAINED
 IN SECTION 556,
 FLORIDA STATUTES
 CALL 811 OR 1-800-432-4770 (SUNSHINE
 STATE ONE CALL)
 PRIOR TO ANY EXCAVATION ACTIVITIES



Lat/Long: 28.0460 N 80.5346 W

No right map found SPC: (806300,1349700)

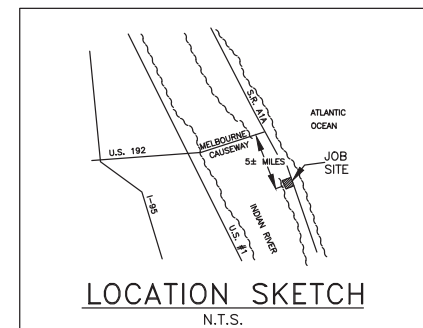
Updated: 07/01/2017

CONSTRUCTION NOTES - WR# 7397719
 REQUIRED DRAWINGS
 45461002
 4R461000(NOTES)
 UTILITY CONTACT LIST
 CALL SUNSHINE 1-800-432-4770

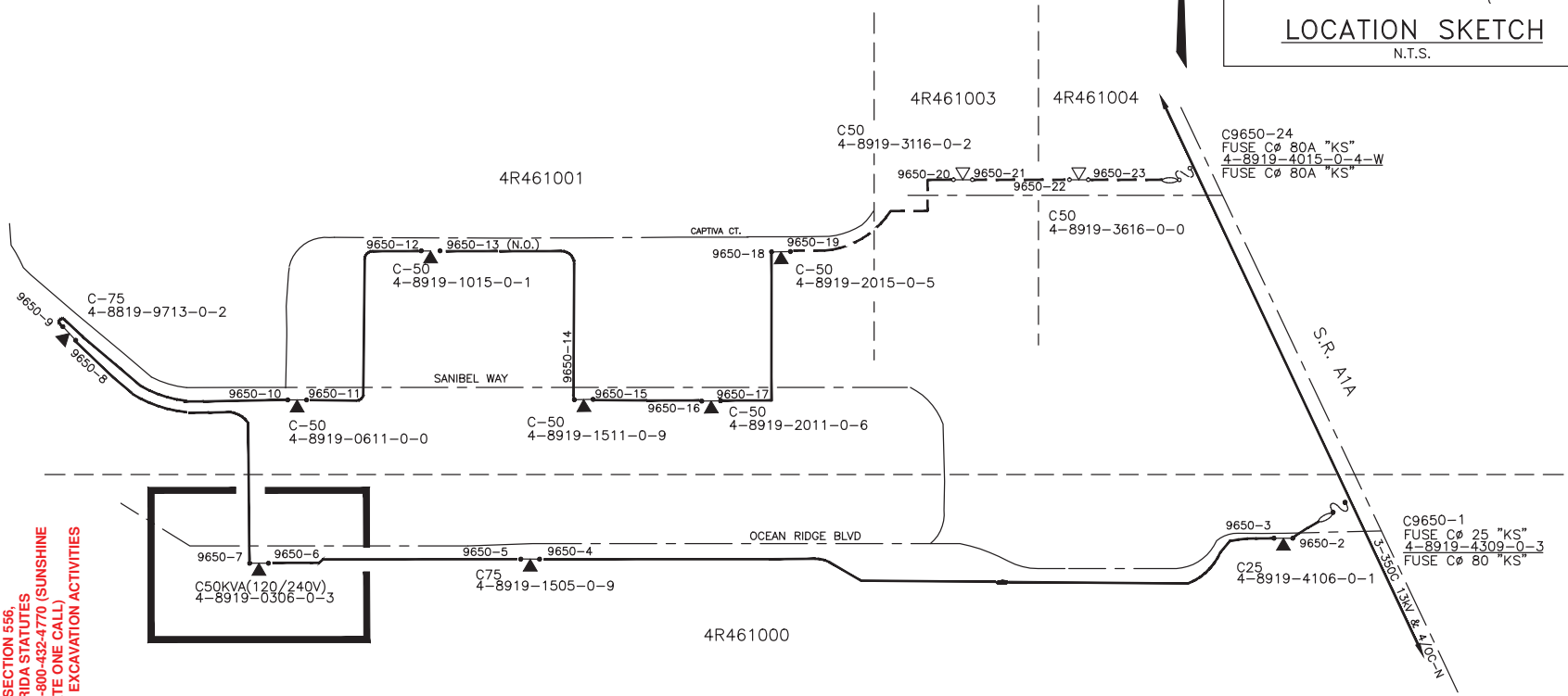
The location and existence of any facilities may not be relied upon by the supplier in responding to a bid or in complying with any contract. Supplier is responsible for evaluating site conditions both above and below ground including underground facility locations.

"AS BUILT" RECORD
 WORK ORDERS WITH A DATE IN THE AS BUILT COLUMN ARE BUILT EFFECTIVE THAT DATE. FIELD ENGINEERED CHANGES HAVE BEEN MADE TO THE TRACING BUT PROPOSED SYMBOLS HAVE NOT BEEN CHANGED TO EXISTING AND NOTE AND LOC. NUMBERS HAVE NOT BEEN REMOVED.

INACCESSIBLE 13KV FUTURE 23KV 23KV SALT SPRAY



PLEASE BE ADVISED THAT RECEIPT OF THIS SURVEY, WHICH IS AN APPROXIMATION, DOES NOT RELIEVE YOU OF ANY STATUTORY OBLIGATIONS, INCLUDING THE PROVISIONS CONTAINED IN SECTION 556, FLORIDA STATUTES CALL 811 OR 1-800-432-4770 (SUNSHINE STATE ONE CALL) PRIOR TO ANY EXCAVATION ACTIVITIES



REFERENCE DWG'S

4R461000
 4R461001
 4S461002

TWNP: 28 RNC: 28 SEC: 20 QTR:

PLOT DATE: 5/18/2017 PLOT TIME: 1:22:10 PM CAD NAME: FXP

01/13/17	7397719	4	05/18/17	AS BUILT REPL TX @TLN: 4-8919-0306-0-3 POLE HARDENING PROJECT FOR HOLLAND PARK SUBSTATION FEEDER #202631
	7112593	3	10/17/16	INST SVC TO OCEAN RIDGE PH II
	1854-7-227	1	04/28/97	
ASBUILT	AUTH NO.	NO.	DATE	REVISION

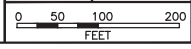
AS-BUILT COPY	AS-BUILT CREW PRINT
Designer: _____ Date: _____ Job CERTIFIED COMPLETED as shown on this AS-BUILT print. Material changes shown on ROS.	Foreman's Signature: _____ Date: _____
Supervisor's Signature: _____ Date: _____ All required ground rods have been driven & verified to be within FPL standards. Values are shown at all locations.	Foreman's Signature: _____ Date: _____

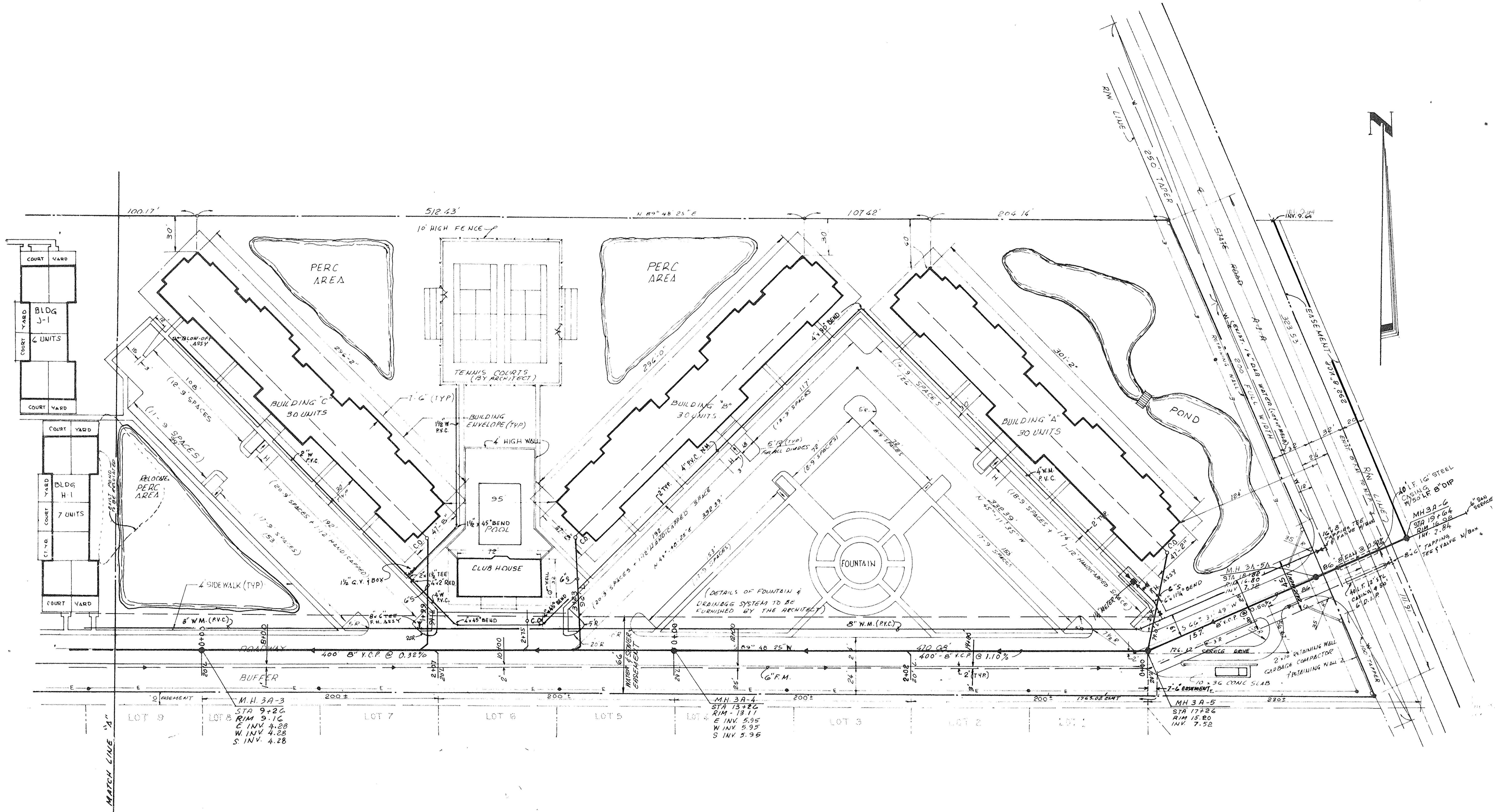
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Tree Work?	YES <input type="checkbox"/> NO <input type="checkbox"/>	Designer/Stake?	YES <input type="checkbox"/> NO <input type="checkbox"/>	CT/Special Mtr?	YES <input type="checkbox"/> NO <input type="checkbox"/>
Map Posting?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	Trench Feet	100'	Duct Bank Feet	
Posted by		Telephone Request?	YES <input type="checkbox"/> NO <input type="checkbox"/>	CATV Request?	YES <input type="checkbox"/> NO <input type="checkbox"/>



DESIGNED BY	A.LINTEREUR
DRAWN BY	F.PALACIOS
DATE	05/18/17
MAP NO.	BT-0706

W/K BY	
OCEAN RIDGE SUBDIV SR A1A & OCEAN EDGE BLVD	
5 MILES S/O MELBOURNE CAUSEWAY MELBOURNE BEACH/ BREVARD CNTY, FL	
DWG NO.	4S461002
WR#	7397719 IWR: D073-97-719





OUTLAW ENGINEERING ASSOCIATES, INC.
 CONSULTING ENGINEERS • PLANNERS • SURVEYORS
 1222 NORTH HARBOR CITY BOULEVARD
 MELBOURNE, FLORIDA 32901

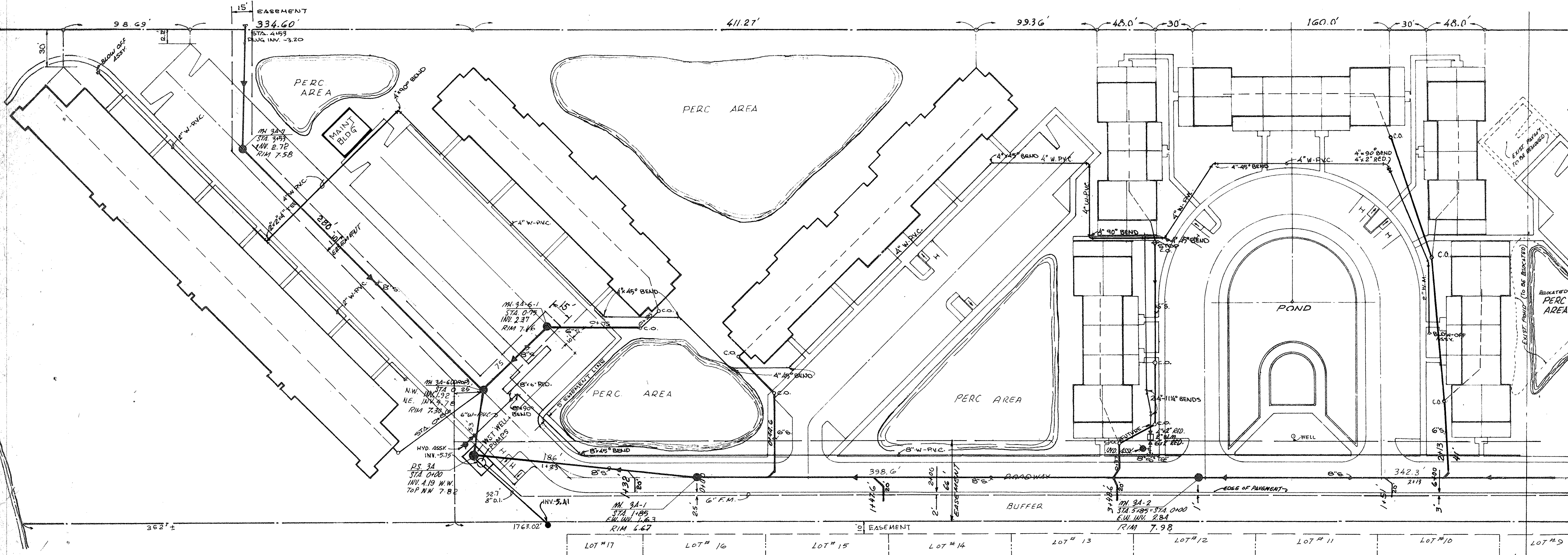
NO.	BY	DATE	REVISIONS
1	D.L.C.	12/26/81	REVISED SITE PLAN
2	D.L.C.	1/21/82	REVISED TO AS BUILT CONDITION
3	D.L.C.	7/25/81	REVISED INTERIERS
4	D.L.C.	8/15/81	REVISED ANNOTATED EASEMENTS
5	D.L.C.	8/15/81	PLUS BENCHMARK LINE AT 504.18 HIGH

VERSAILLES - MELBOURNE I
 VERSAILLES BREVARD COUNTY, FLORIDA
 WATER & SEWER PLAN

DATE	3 JUNE '81
SCALE	1" = 40'
DWG. BY	D.L.C.
CHK. BY	
PROJECT NO.	E 1692-2
SHEET NO.	

WATER & SEWER AS-BUILTS

John B. Rice



AS-BUILT SEWER & WATER

WATER & SEWER AS-BUILT

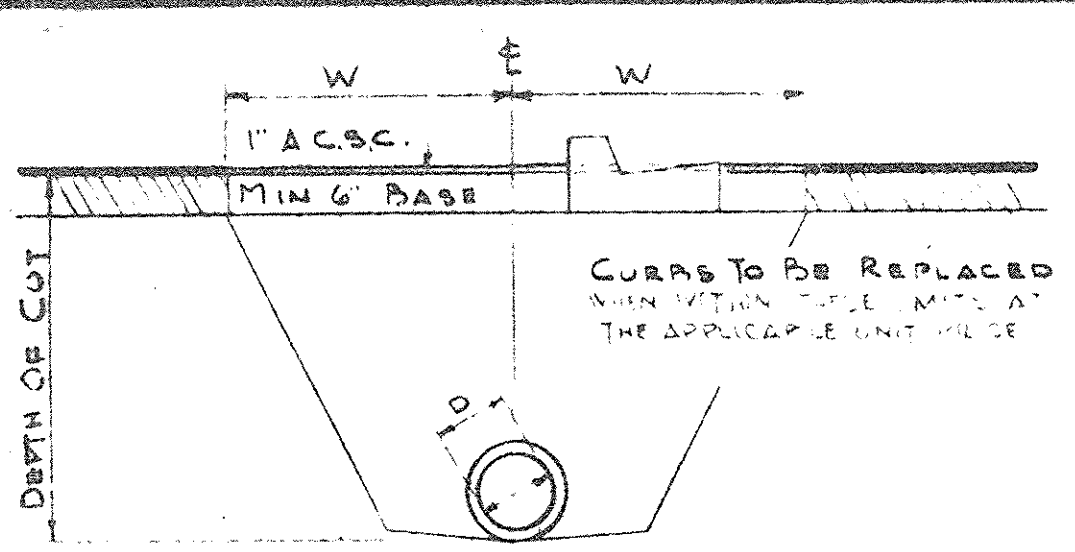
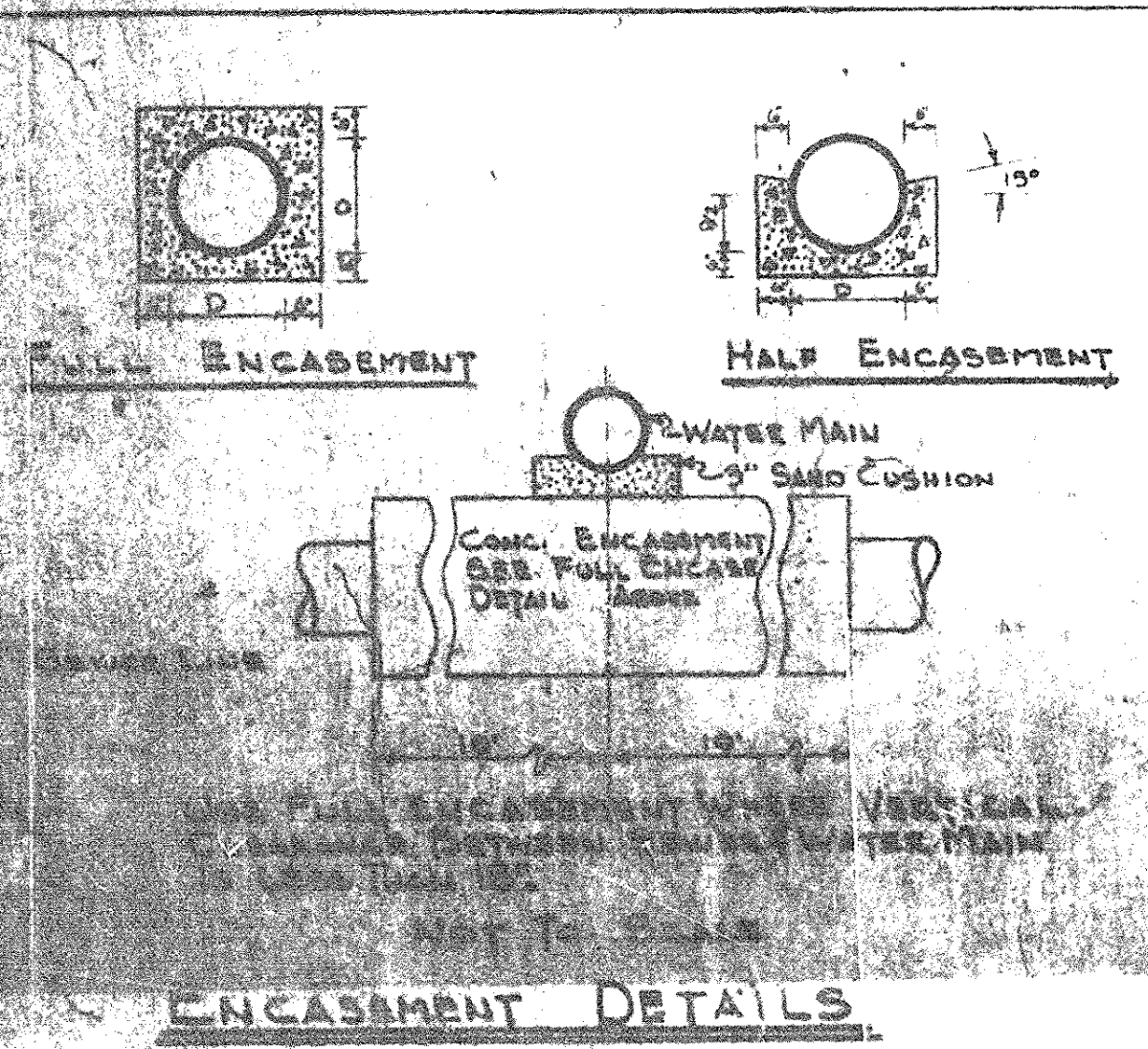
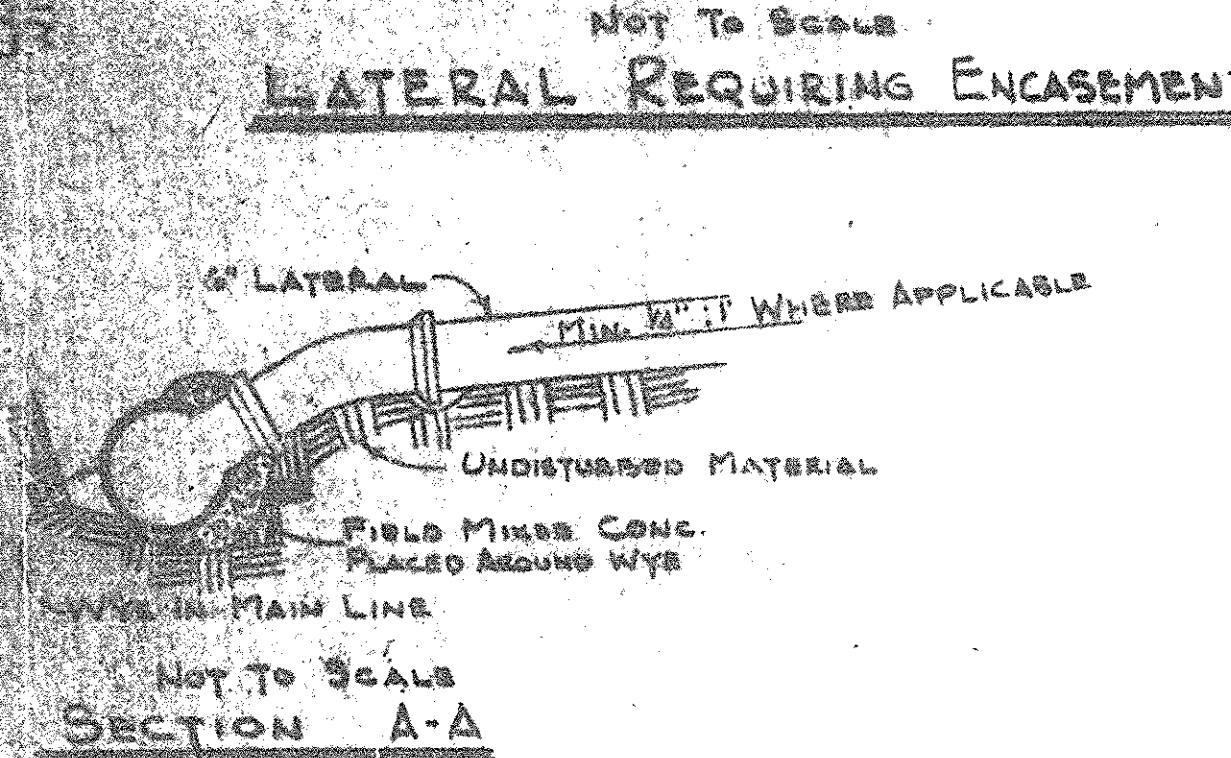
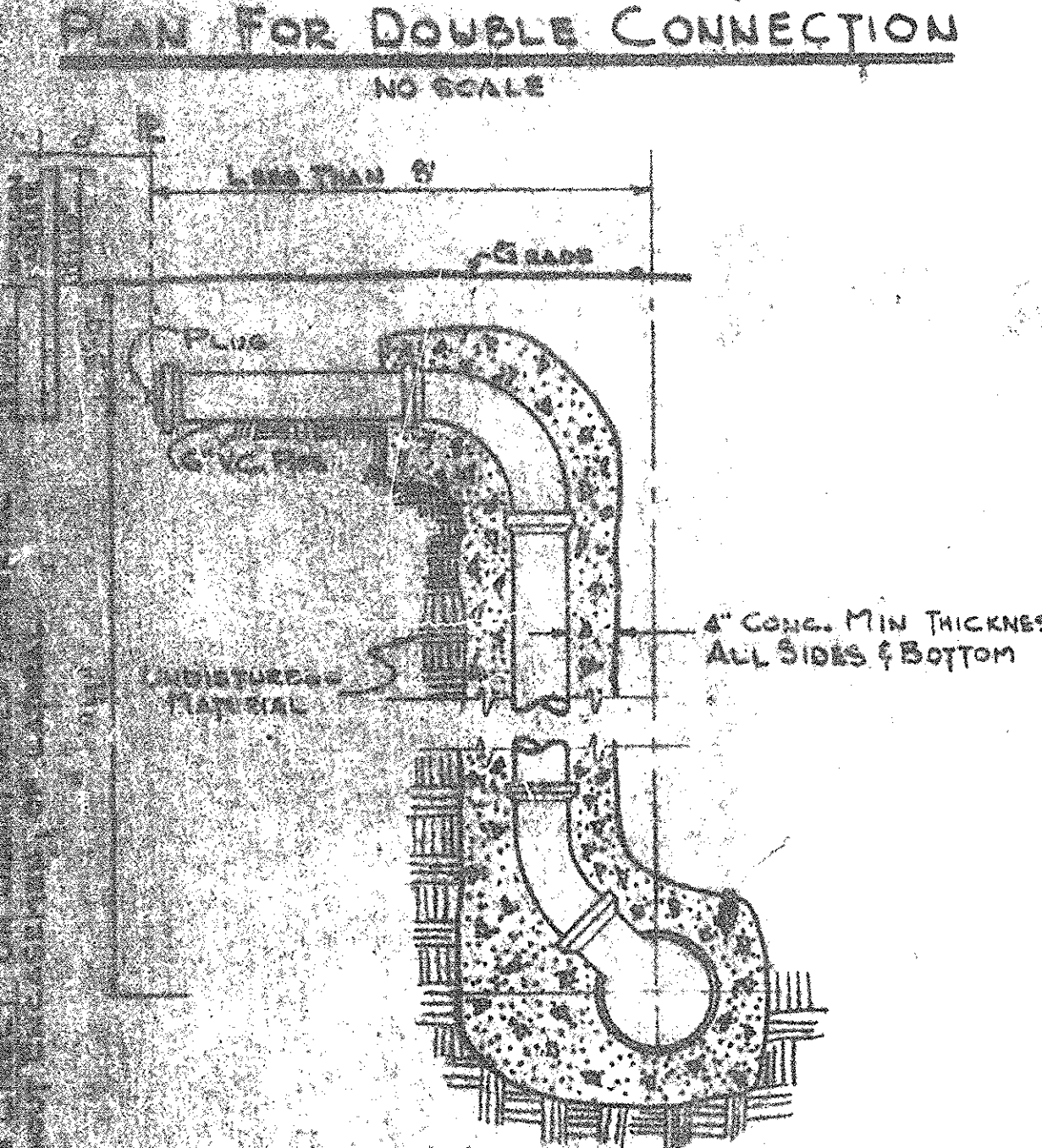
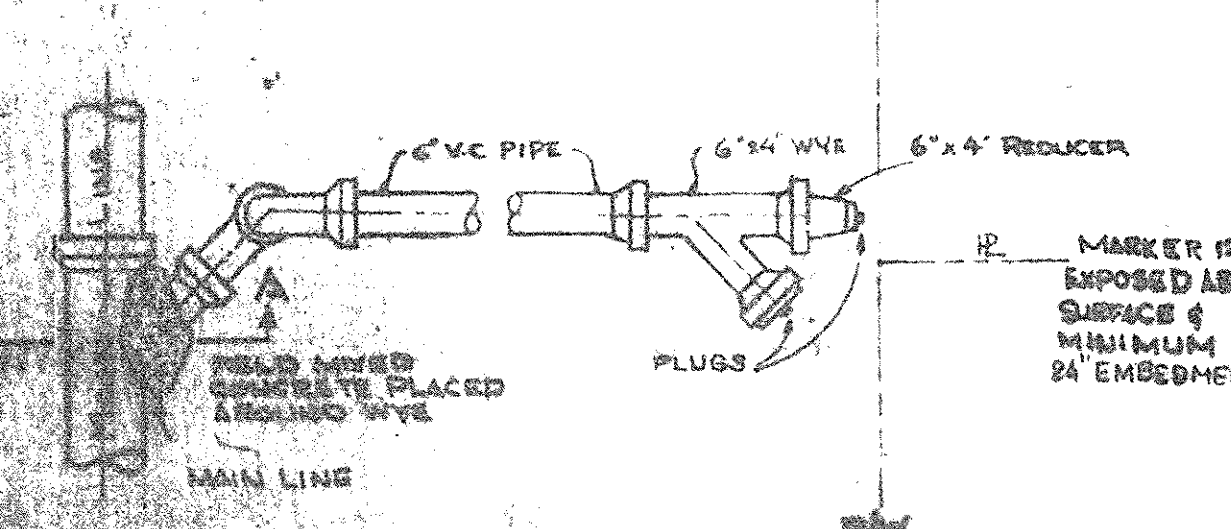
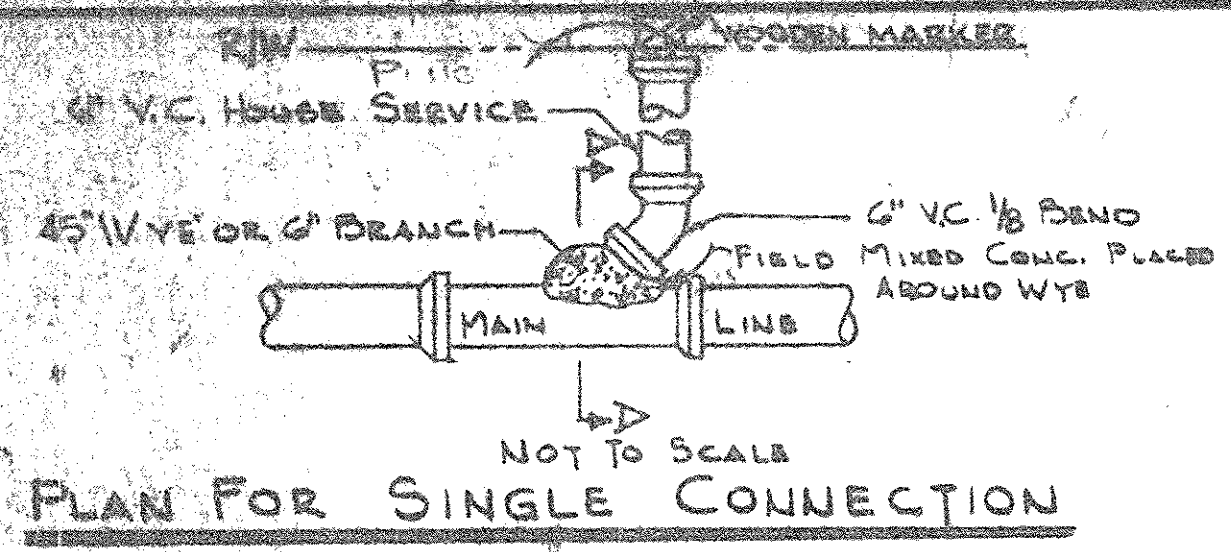
John B. [Signature]

OUTLAW ENGINEERING ASSOCIATES, INC.
CONSULTING ENGINEERS · PLANNERS · SURVEYORS
 1722 NORTH HARBOR CITY BOULEVARD
 MELBOURNE, FLORIDA 32901

NO.	BY	DATE	REVISIONS
1	D.L.C./J.S.B.	REVISED	SITE
2	D.L.C./J.S.B.	REVISED	AS BUILT CONDITION
3	D.L.C./J.S.B.	REVISED	INVERTS
4	D.L.C./J.S.B.	REVISED	INVERTS & TOPS

VERSAILLES - MELBOURNE I
 VERSAILLES BREVARD COUNTY, FLORIDA
 WATER & SEWER PLAN

DATE	
SCALE 1"=40'	
DWG. BY	CHK. BY
PROJECT NO. E1692-2	
SHEET NO.	



LIMITS FOR PAYMENT

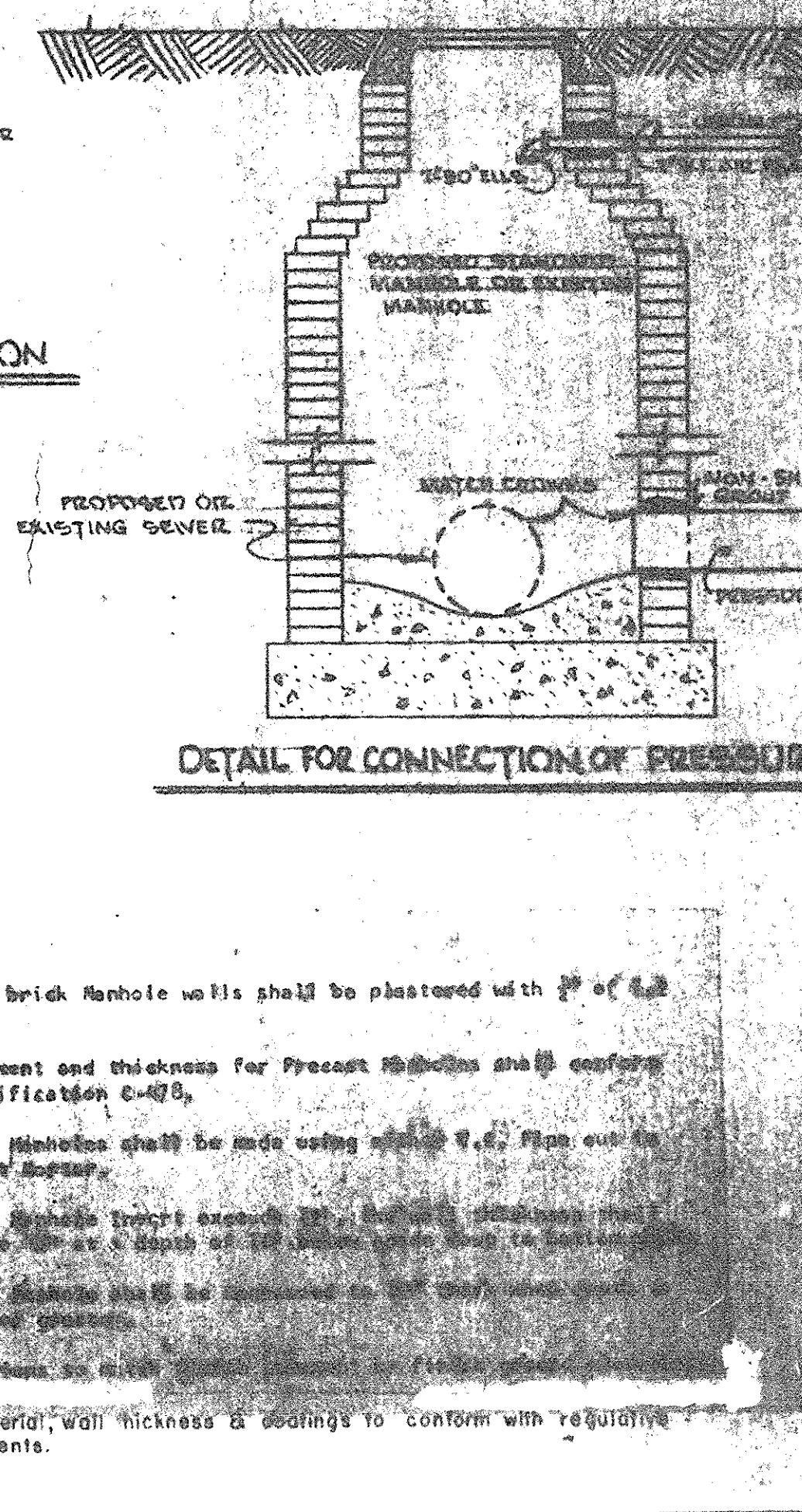
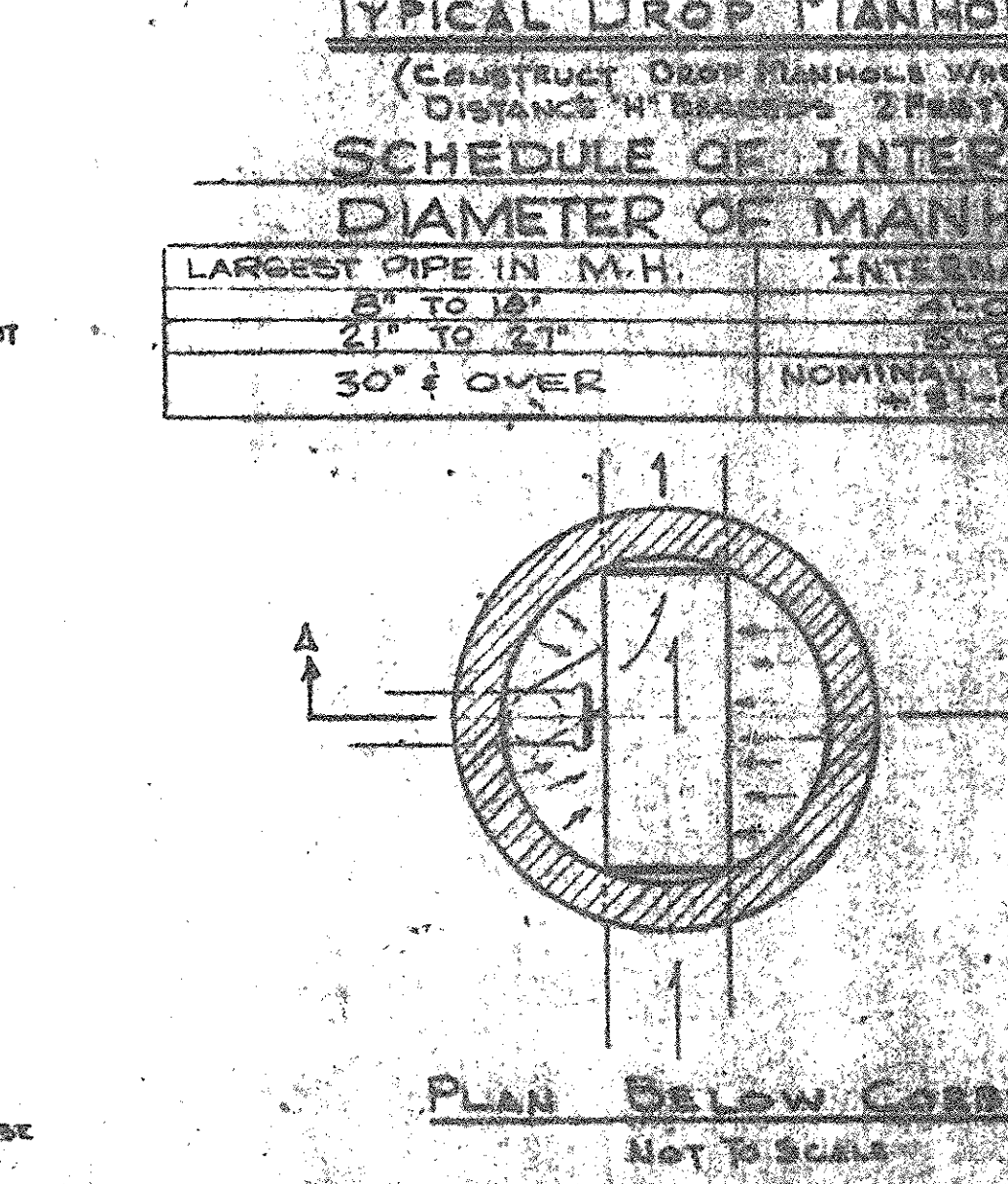
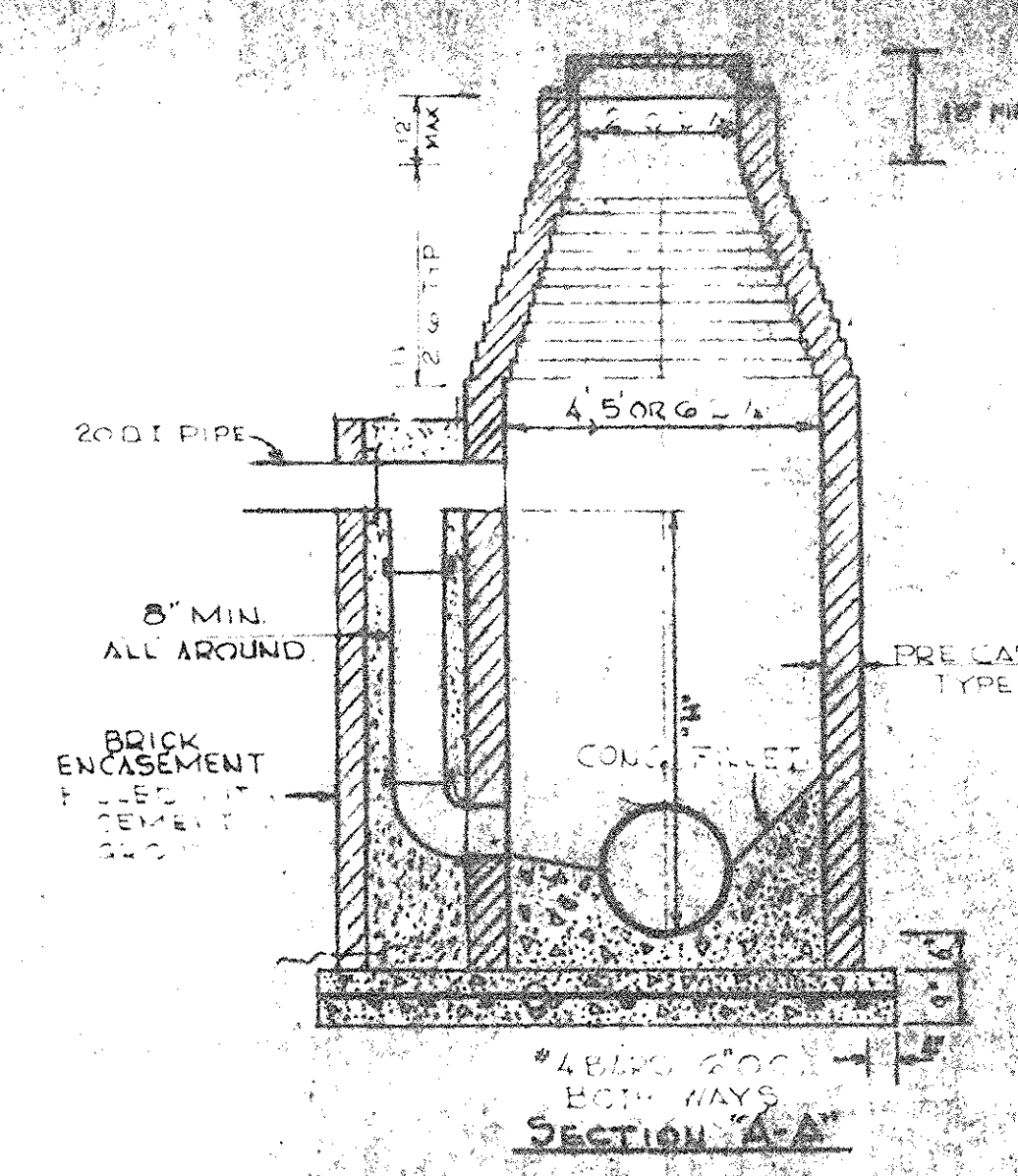
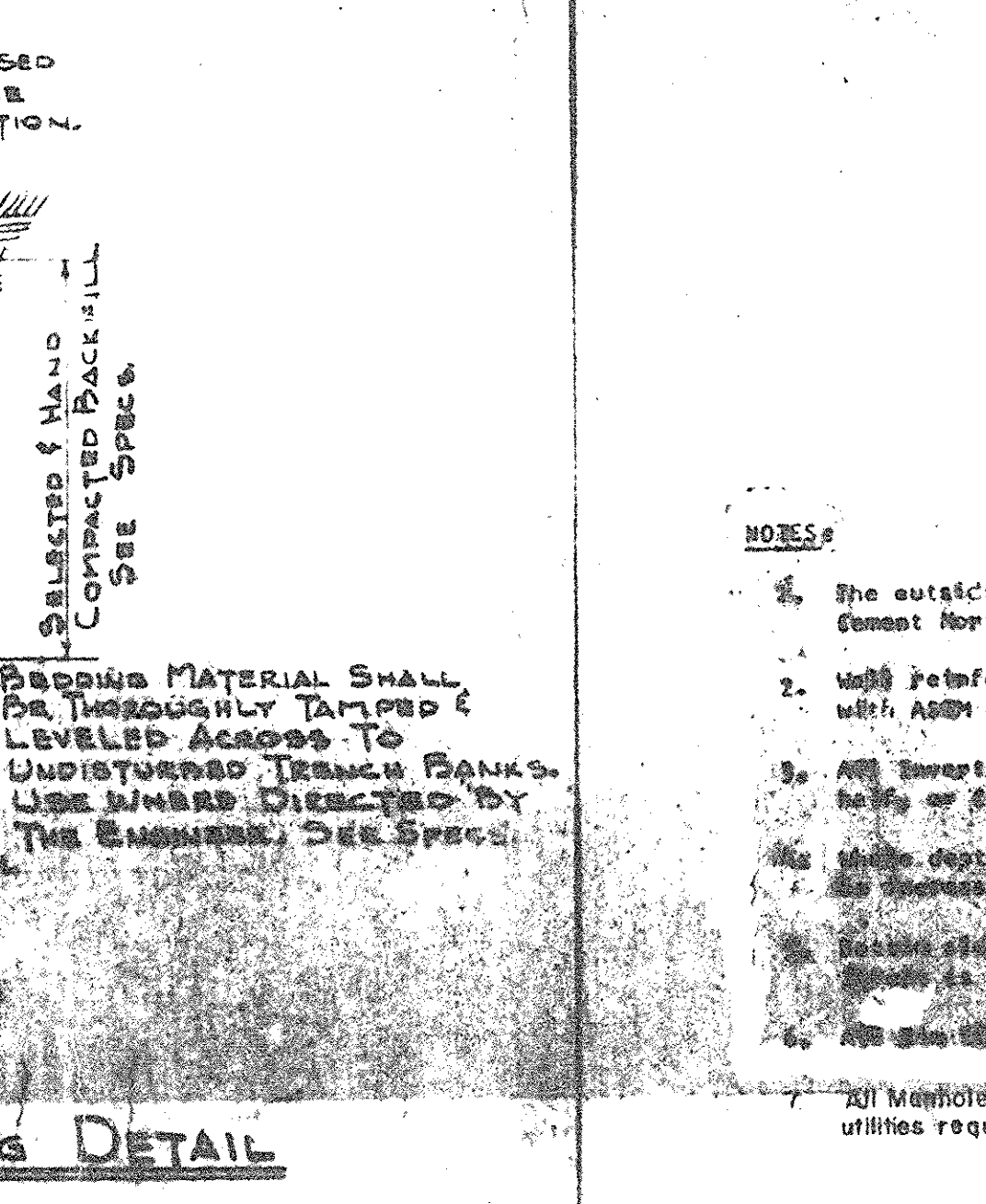
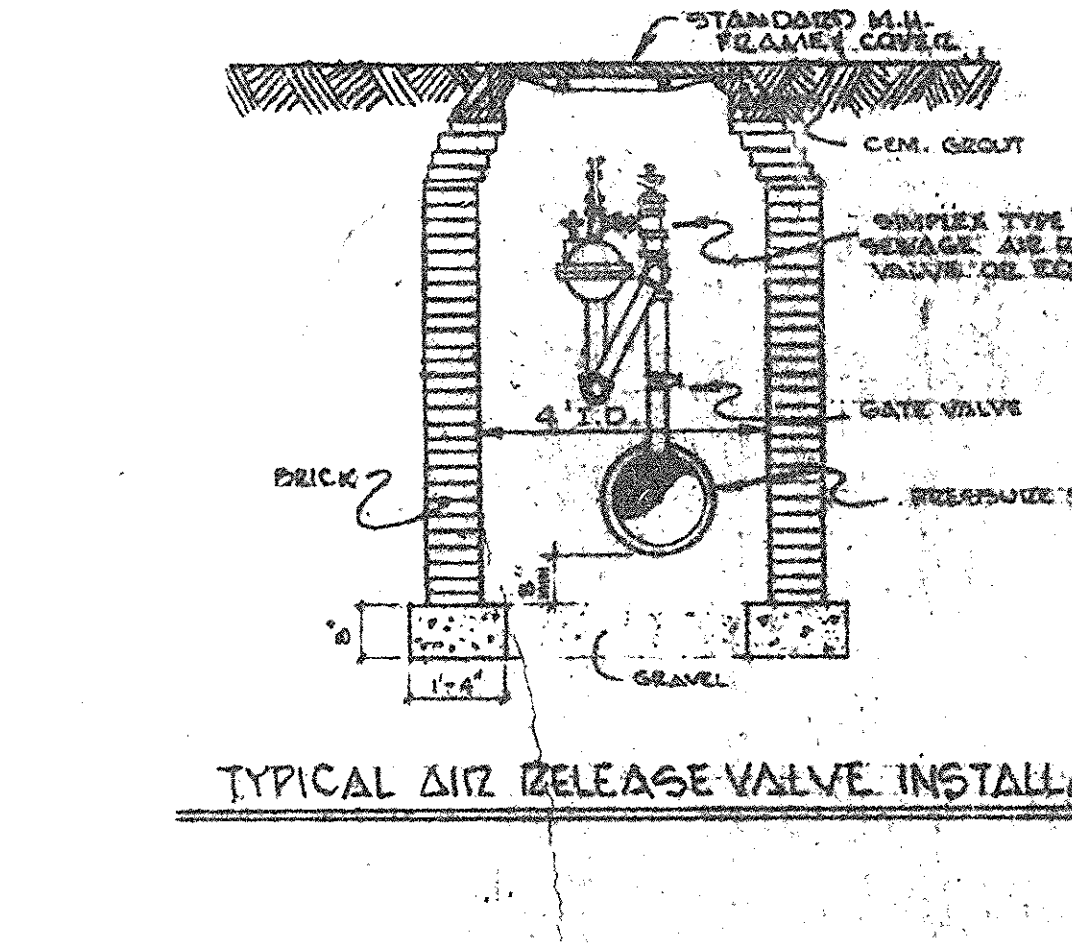
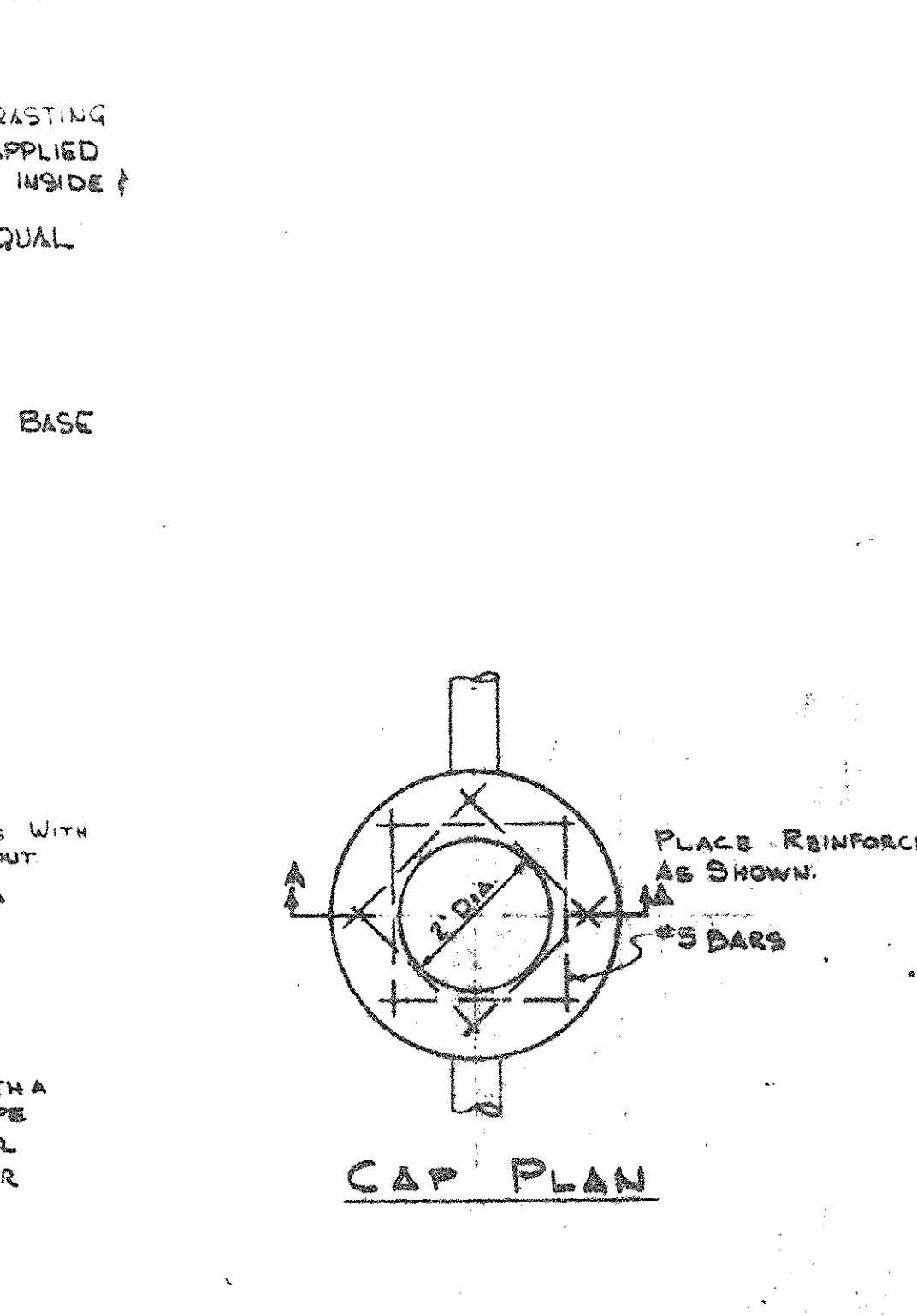
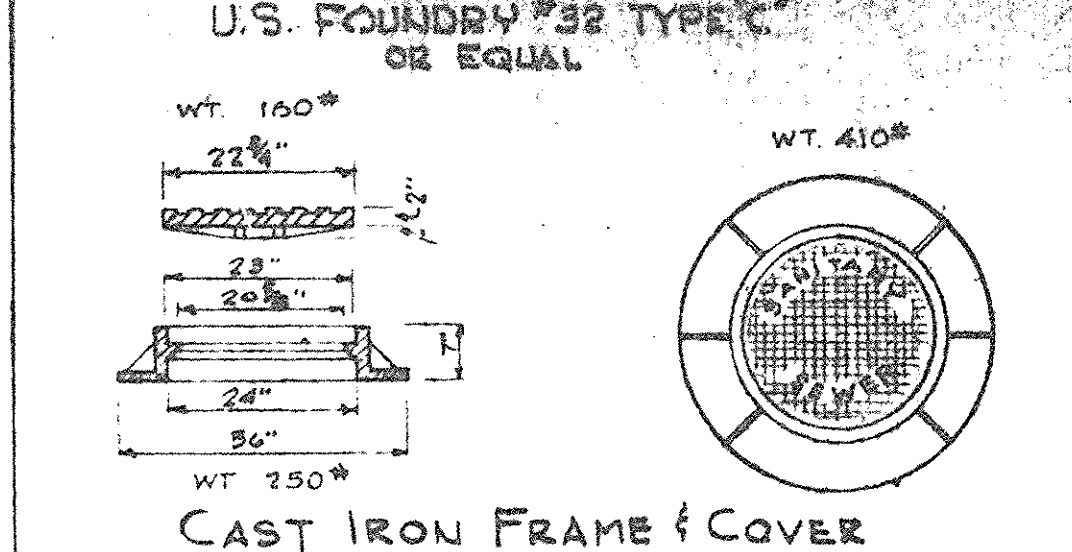
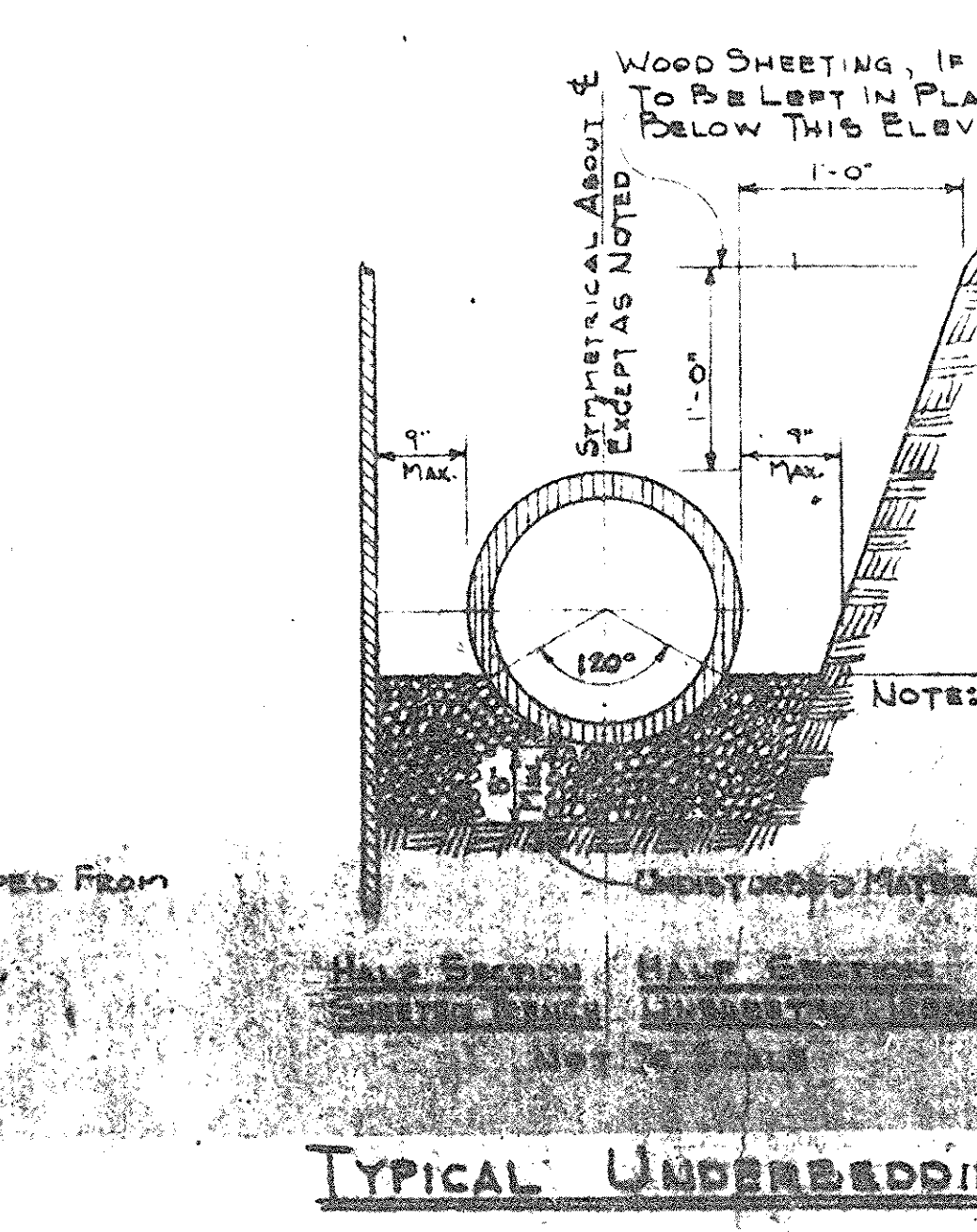
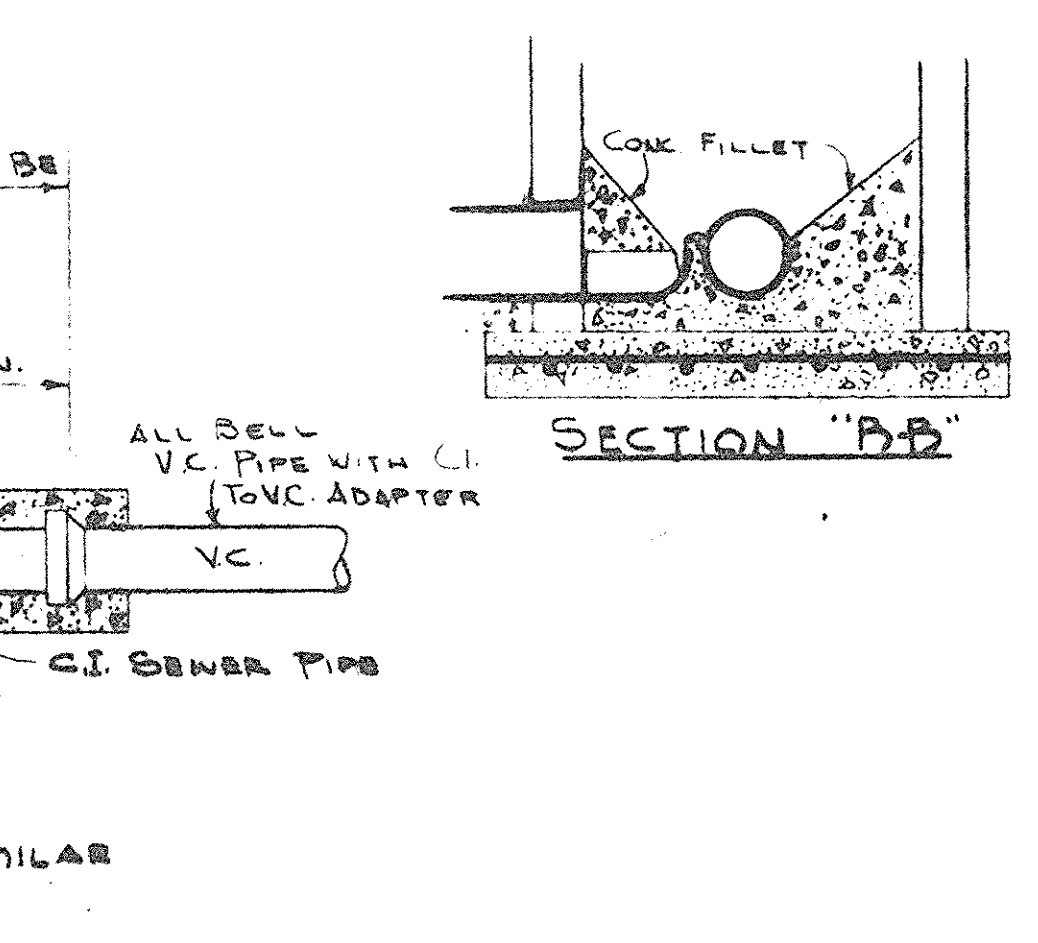
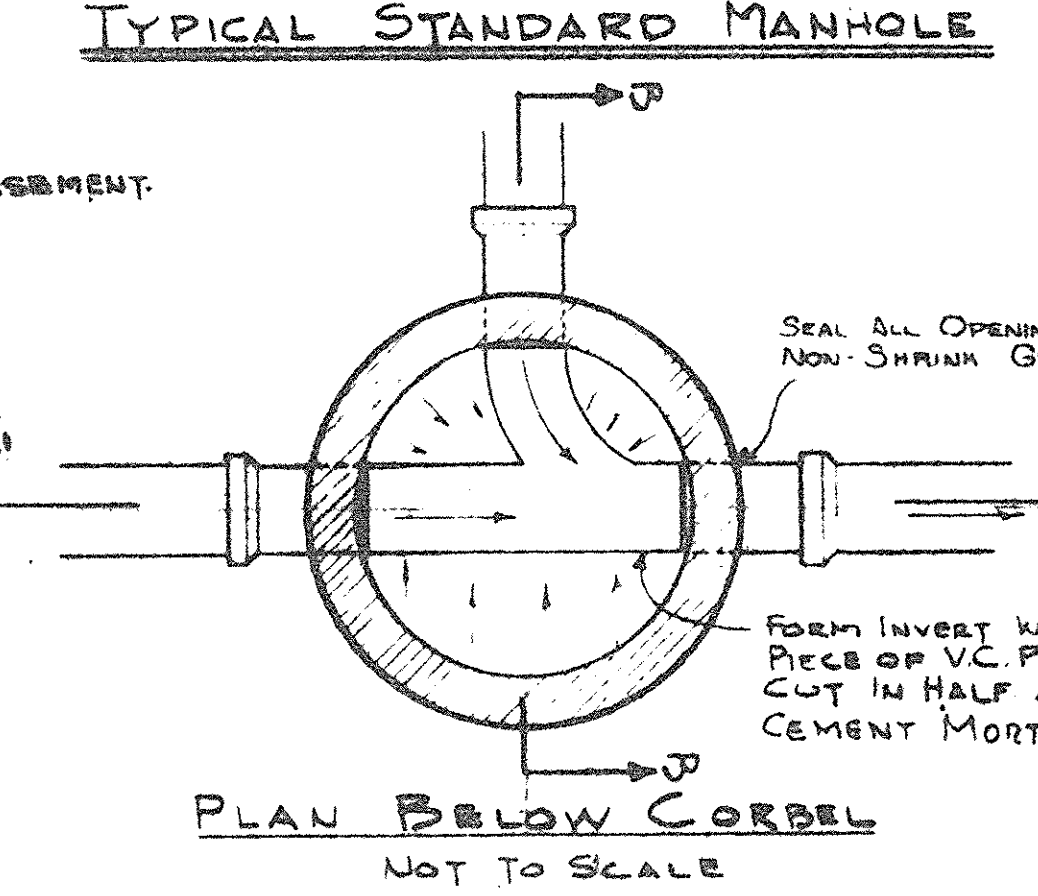
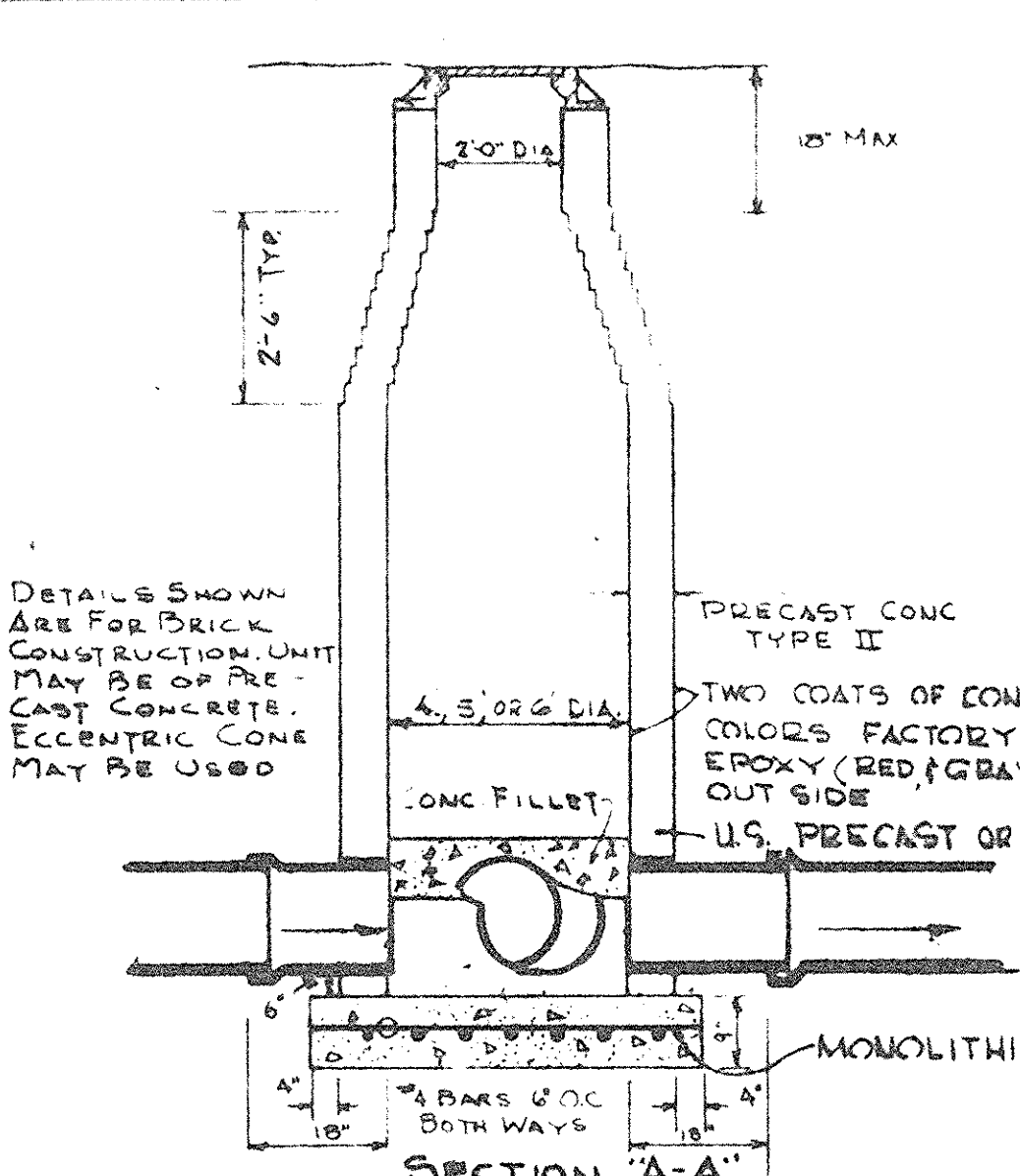
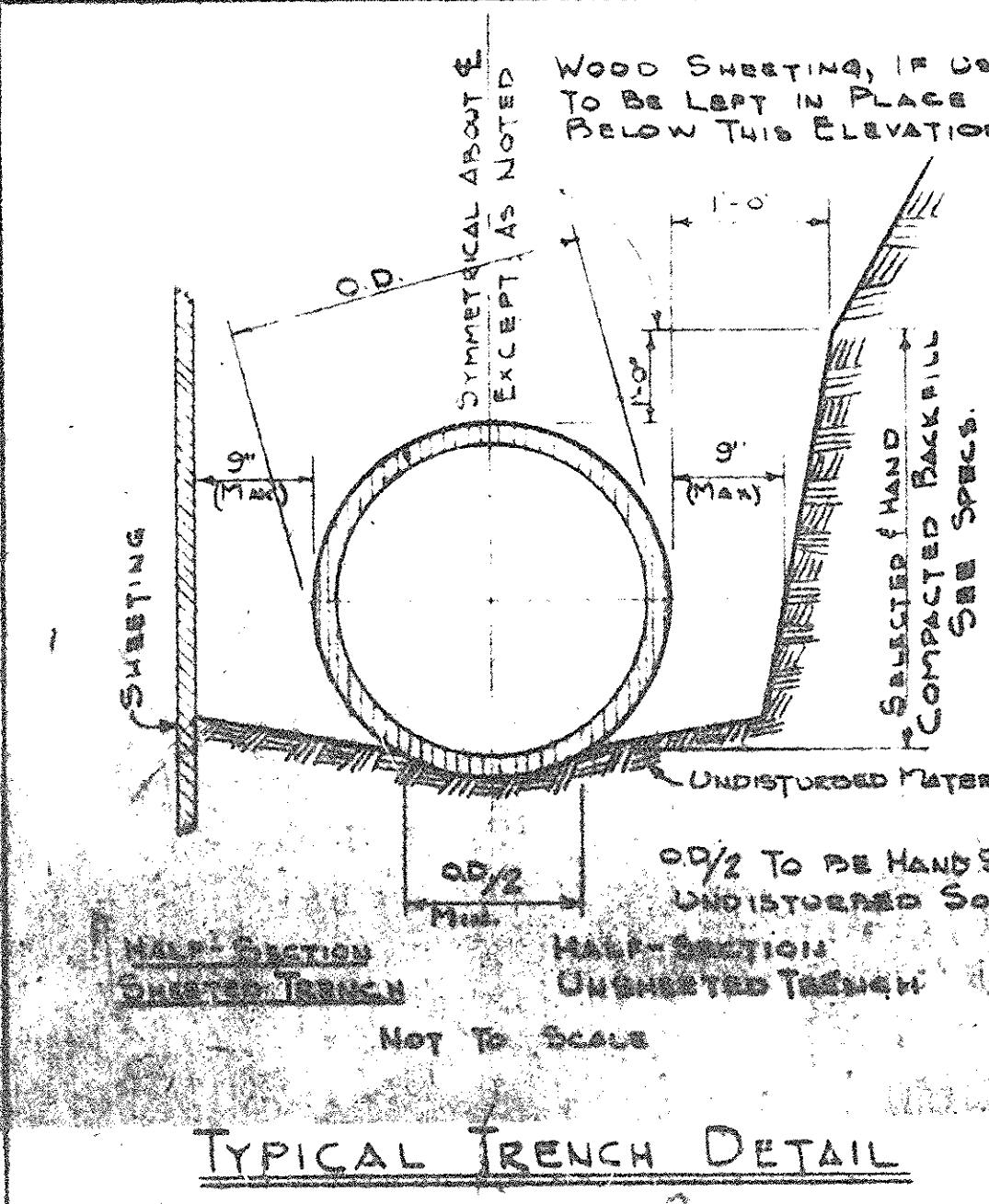
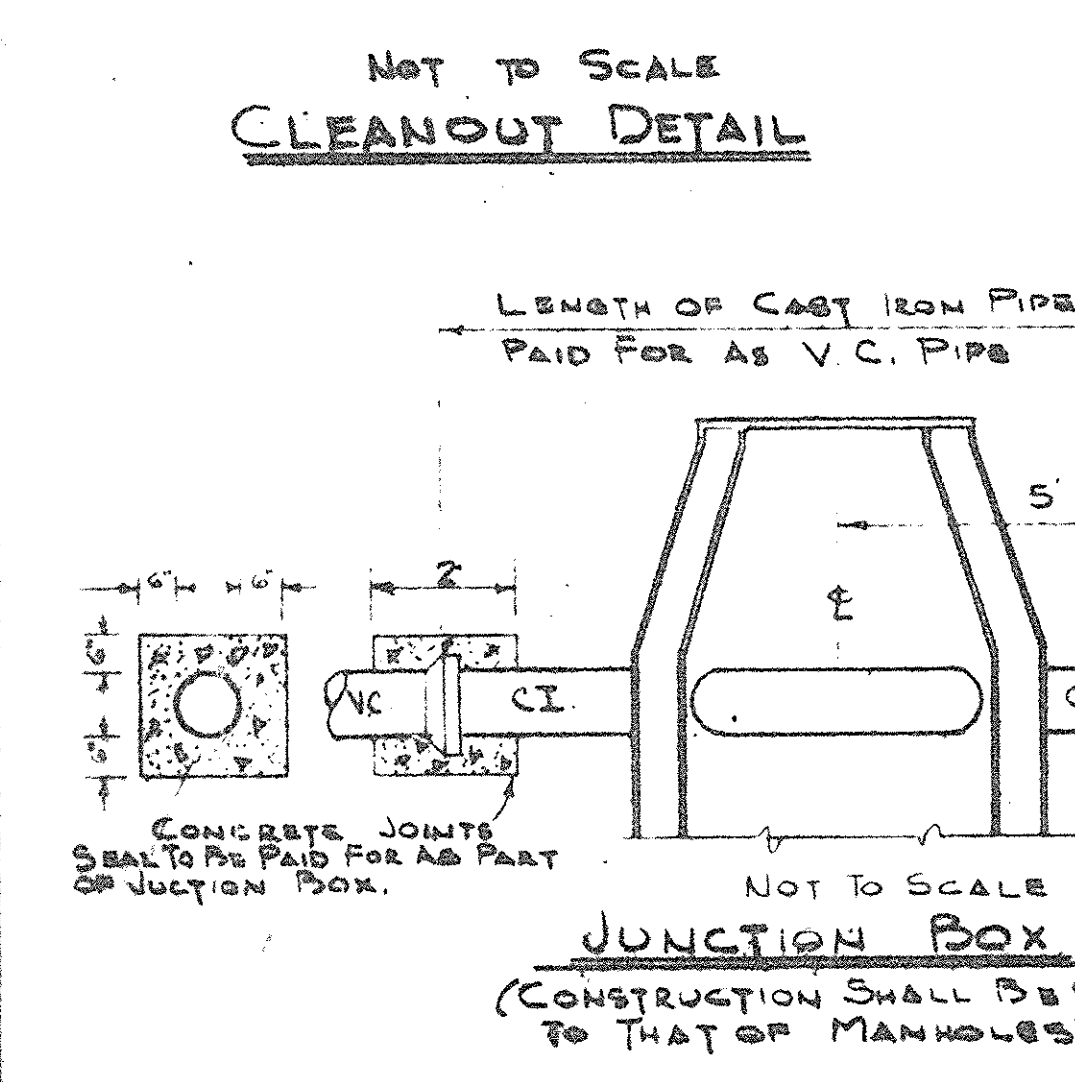
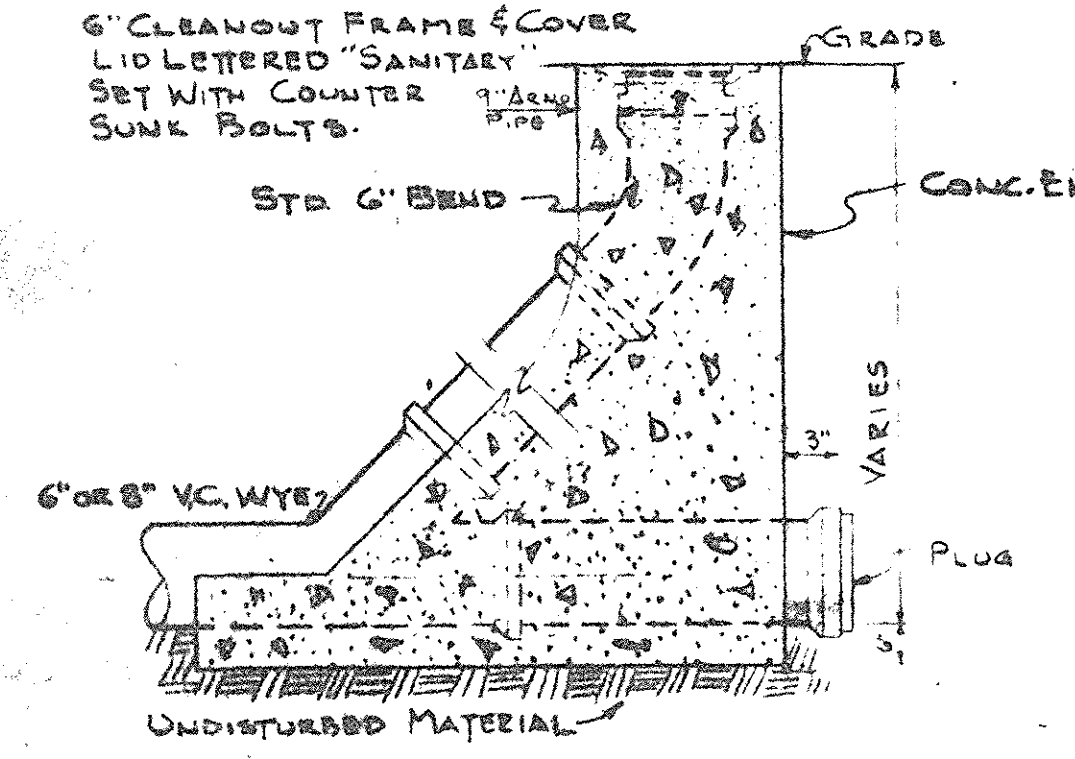
D	"W" FOR DEPTH OF CUT												
8" to 24"	4.5	5.5	6.5	7.5	8.5	9.5	10.5	11.5	12.0	12.5	13.0	13.5	14.0
27" to 36"	5.0	6.0	7.0	8.0	9.0	10.0	11.0	12.0	12.5	13.0	13.5	14.0	14.5

PRESSURE MAIN & SERVICE LATERALS 2'

TOTAL THICKNESS OF PAVEMENT REPLACEMENT TO BE EQUAL TO EXISTING THICKNESS OR 7" WHICHEVER IS GREATER.

ONLY THAT PAVEMENT AND GRASS WHICH IS THINER THAN THESE LIMITS & IS ACTUALLY REPLACED SHALL BE MEASURED FOR PAYMENT.

PAVEMENT & GRASS REPLACEMENT



SCHEDULE OF INTERNAL DIAMETER OF MANHOLES

LARGEST PIPE IN M.H.	INTERNAL DIAM.
8" TO 16"	4'-0"
21" TO 27"	5'-0"
30" & OVER	NOMINAL PIPE DIAM. + 3'-0"

- NOTES:**
- The outside of brick manhole walls shall be plastered with 3/4" of 1:3 cement mortar.
 - Wall reinforcement and thickness for precast manholes shall conform with ASTM specification C-408.
 - All inserts in manholes shall be made using 1/2" x 1/2" flat cut in half or round bars.
 - Manhole depth to finished invert shall be as shown on drawings. Manholes shall be constructed to a depth of 2' below the invert to facilitate cleaning.
 - Manhole walls shall be constructed of brick or concrete blocks and shall be 12" thick.
 - All manhole material, wall thickness & coatings to conform with regulatory utilities requirements.

OUTLAW ENGINEERING ASSOCIATES, INC.
 CONSULTING ENGINEERS, PLANNERS, SURVEYORS
 VESPALES MELBOURNE I
 SANITARY SEWER DETAILS
 DATE: 1/16/10
 3/3



PHOENIX PARK

PHOENIX PARK LLC

ATTACHMENT - 7

SITE PHOTOS

Prepared By:



Picture 1: Existing Pond on site



Picture 2: Existing Liftstation at west end of Versailles Dr.



Picture 3: Looking west towards Indian River Lagoon



Picture 4: Existing marina/residential dock



PHOENIX PARK

PHOENIX PARK LLC

ATTACHMENT - 8

TRAFFIC DUE DILIGENCE REPORT

Prepared By:

Due Diligence Report
Old Hamptons Apartments, Melbourne Beach, Brevard County, FL
 July 18, 2017

A. Existing Conditions

Site Location: The development in this study is located in Melbourne Beach, Florida along the west side of the intersection of Versailles Drive and State Road A1A (SR-A1A). The development site is located approximately 4.25 miles south of the Melbourne Causeway bridge (US-192) intersection along SR-A1A.

The proposed site will lie on approximately 20 acres currently undeveloped, bordered by residential land uses to the north and south as well as the Indian River to the west. In the proposed concept, access is provided to the site via the existing Versailles Drive.

Roadway Classification: SR-A1A is classified as an Urban Minor Arterial. Versailles Drive is unclassified, but it is assumed to be an urban local road.

Cross Section: The SR A1A cross-section is a two-lane undivided highway with a single southbound right turn lane. Although not fully constructed, Versailles Drive is expected to be a two-lane undivided local street.

Pedestrian Facilities: SR-A1A contains a sidewalk on the west side of the roadway. However, at the point SR-A1A borders the site the sidewalks transition to the roadway shoulder.

Traffic: Traffic volume information is provided in Table 1 and Table 2 below (data obtained from the 2016 Florida Transportation Information Database). The counts indicate that the segments are currently operating within the allowable Level of Service (LOS) threshold.

Table 1. 2016 Peak Hour Directional Roadway Information

Facility	Approach	Speed Limit (mph)	2016 Peak Hour Dir. Volume	LOS D Service Volume Capacity	V/C	LOS	Allowable LOS
SR-A1A	SB	40	643	924	0.70	C	D
SR-A1A	NB	40	567	880	0.64	C	D

Sources: 2016 Florida Traffic Online, FDOT Quality/Level of Service Handbook Generalized Tables

Table 2. 2016 Daily Traffic Roadway Information

Facility	Approach	Speed Limit (mph)	2016 AADT	LOS D Service Volume Capacity	V/C	LOS	Allowable LOS
SR-A1A	From North	40	13,100	18,585	0.70	C	D
SR-A1A	From South	40	9,400	17,700	0.51	C	D

Sources: 2016 Florida Traffic Online, FDOT Quality/Level of Service Handbook Generalized Tables

B. Anticipated Site Traffic Volumes

Traffic volumes expected to be generated by the proposed development were forecasted using the 9th Edition of Institute of Transportation Engineers (ITE) Trip Generation Manual. The trip generation for the proposed Hampton Apartments development was calculated using the trip generation equations for Land Use Code (LUC) 220 (Apartment) and LUC 230 (Residential Condominium/Townhouse). The trip-generation estimates were based on the preliminary concept attached which includes 76 apartments and 70 condos/townhomes.

The proposed development is expected to generate the following trips:

- 1,056 vehicle trips (528 in and 528 out) on an average weekday
- 80 vehicle trips (15 in and 65 out) during the weekday AM peak hour
- 104 vehicle trips (68 in, 36 out) during the weekday PM peak hour

C. Local Code Review

Per the Brevard County's Policy on Minimum Requirements for Traffic Impact Analyses, a Transportation Impact Analysis (TIA) is required based on the amount of peak hour trips generated. The requirements state the study limits will be 0.5 miles per every 100 peak hour trips.

D. Site Traffic Analysis

Impact of Newly Generated Trips

During the PM peak hour, an estimated 104 new trips will be generated by the development. Per Brevard County requirements, it is expected the study should include analysis of SR-A1A, 0.5 mile in both directions.

Previous Entitlements

Previously the development site contained 178 dwelling units that were demolished around 2009 according to Google Earth historical imagery. A document pertaining to the property includes an entitlement stating the following:

"The site is exempt from all other impact fees (Transportation, Fire/Rescue, EMS, Correctional Facility, Library, and Solid Waste) up to the number of 178 prior-existing units regardless of the time of subsequent redevelopment of the site from the last date of residential occupation as long as the use of the property is the same (i.e. apartments, condominiums, townhouses)."

This entitlement should serve as an exemption from paying transportation impact fees. Therefore, a traffic impact study should not be required.

E. Recommendations

Due to prior entitlements, a full traffic analysis should not be required since the development size is less than the previously accounted for 178 dwelling units, furthermore waiving transportation impact fees. However, if prior entitlements are not recognized, the development is estimated to generate enough trips to warrant a traffic impact analysis with study limits 0.5 mile from the development site.

If required, the preliminary cost of traffic count efforts and the traffic impact study is \$8,000-\$10,000.

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